

PDI-00-01(Z)(P): RINGLING CENTER FOR INDUSTRY/ ALDINA, L.C.

Request: Approval of (1) a Zoning Ordinance of the County of Manatee, Florida, amending the Official Zoning Atlas of Manatee County (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area of Manatee County; providing for the rezoning of certain land from A-1/WR/AI (Suburban Agricultural, 1 dwelling unit per acre/Whitfield Residential/Airport Impact Overlay Districts) to PDI/WR/AI (Planned Development Industrial/Whitfield Residential/Airport Impact Overlay Districts); and (2) a Preliminary Site Plan allowing 174,780 sq. ft. of warehouse and 22,500 sq. ft. of office uses. Located on the south side of Tallevast Road, 2,000 feet east of U.S. 41, and immediately north of the Sarasota-Bradenton Airport (±9.19 acres).

App Received: 09/14/00

D.R.C.: 10/23/00

P.C.: 03/08/01

B.O.C.C.: 03/27/01

**RECOMMENDED MOTION:**

**Based upon the staff report, evidence presented, comments made at the Public Hearing, the action of the Planning Commission, and finding the request to be CONSISTENT with the Manatee County Comprehensive Plan and the Manatee County Land Development Code, as conditioned herein, I move to ADOPT Manatee County Zoning Ordinance No. PDI-00-01(Z)(P); and APPROVE the Preliminary Site Plan with Stipulations #1 - 15; GRANTING Special Approval for a project (1) located within the Airport Impact Overlay District, and (2) exceeding a Floor Area Ratio of 0.35 in the IL Future Land Use Category, as recommended by the Planning Commission.**

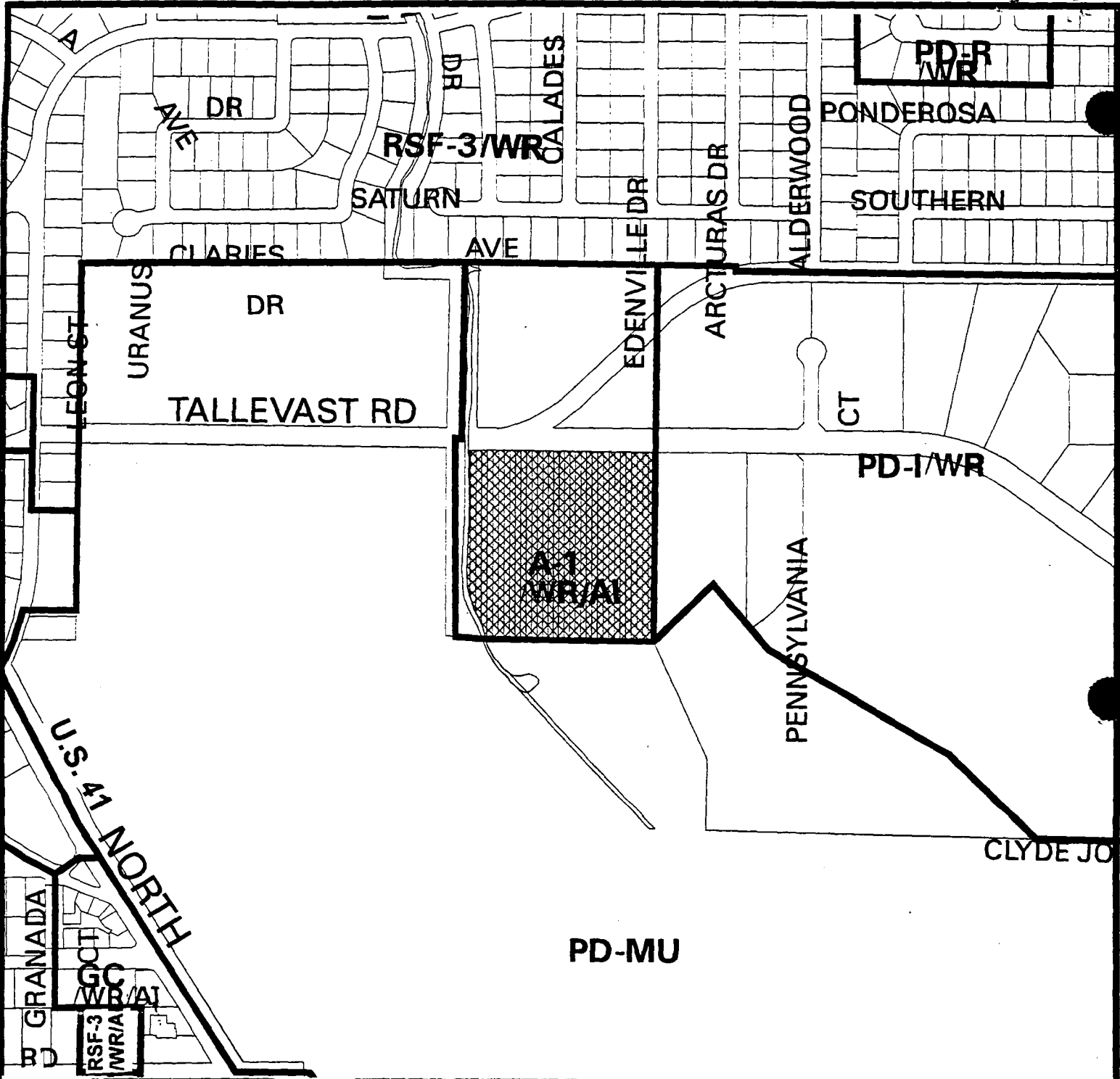
**(COMMISSIONER HARRIS)**

**PLANNING COMMISSION ACTION:**

**On March 8, 2001, by a vote of 7 - 0, the Planning Commission recommended APPROVAL of PDI-00-01(Z)(P).**

**PUBLIC COMMENT/CORRESPONDENCE:**

**There was no public comment and no correspondence was entered into the record for this case at the March 8, 2001 Planning Commission public hearing.**



**Project Number:** PDI-00-01:(Z)(P)      **Tax I.D.:** 665090000  
**Proposed Use:** OFFICE/WAREHOUSE COMPLEX  
**Proposed Zoning:** PDI/WR/AI  
**Existing Zoning:** A-1 /WR/AI  
**Existing FLUC:** IL  
**Flood Zone:** X  
**Floodway:** NO  
**Acreage:** 9.19  
**Drainage Basin:** BOWLEES CREEK  
**Commissioner:** George Harris  
**Map Prepared:** October 16, 2000  
**Requested By:** RINGLING CENTRE FOR INDUSTRY  
**Section:** 25 **Township:** 35 **Range:** 17

**Manatee County  
 Zoning  
 Staff Report Map**  
 1 inch = 740'

**Overlays:**  
 ST,AI,HA,WR,RV: AI  
**Watershed:** NONE  
**Coastal Hazard:** Not Available

  
 Coastal  
 High Hazard  
 Line

# CASE SUMMARY

CASE NO.: PDI-00-01(Z)(P)

APPLICANT: RINGLING CENTER FOR INDUSTRY/ ALDINA, L.C.

REQUEST: Approval of (1) rezone from A-1 (Suburban Agricultural) to PDI (Planned Development Industrial), retaining the WR (Whitfield Residential) and AI (Airport Impact) overlay designations and (2) a Preliminary Site Plan allowing 174,780 sq. ft. of warehouse and 22,500 sq. ft. of office uses . (± 9.19 acres)

STAFF

RECOMMENDS: APPROVAL with Limited Issues

## REQUEST, LOCATIONAL INFORMATION, AND LAND USE CHARACTERISTICS

- This request is a rezone to PDI with a Preliminary Site Plan to allow 197, 280 sq. ft. of warehouse and office uses. The property is located on the south side of Tallevast Road, 2000' east of U.S. 41, immediately north of the Sarasota Bradenton International Airport.
- To the NORTH is vacant land zoned A-1/WR/AI (Suburban Agriculture, Whitfield Residential and Airport Impact Overlay Districts).
- To the EAST is University Park of Commerce, zoned PDI/WR (Planned Development Industrial/Whitfield Residential Overlay District).
- To the WEST and South is airport property zoned PDMU/WR/AI (Planned Development Mixed Use/Whitfield Residential and Airport Impact Overlay Districts).

## SUMMARY: ( AS)

This request is for approval of a rezone of 9.19 acres to PDI, with a Preliminary Site Plan to allow 197,280 sq. ft. of warehouse and office uses. Two 98,640 sq. ft. buildings are proposed with a the Floor Area Ratio of 0.493.

Special Approval is required because: (1) the project is exceeds a Floor Area Ratio of 0.35 in the IL Future Land Use Category and (2) noise sensitivity associated with developing within the Airport Impact Overlay District.

The site has an IL Future Land Use Designation. The applicant proposes a warehouse and office uses which are consistent with the underlying Future Land Use Category of the site. Staff recommends approval, with limited issues.

### **POSITIVE ASPECTS OF THE APPLICATION**

- The proposed rezoning to PDI may better conform to the IL (Industrial - Light) Future Land Use Category than the current A-1 zoning district.
- The proposed setbacks will help reduce visual impacts and address compatibility concerns.

### **NEGATIVE ASPECTS OF APPLICATION**

- Mass and scale of structures is a concern.
- Potential for adverse visual impact along Tallevast Road.

### **MITIGATING FACTORS**

- Staff recommended design stipulations, and enhanced landscaping to help reduce visual impacts.

**STIPULATIONS:**

1. The sides of buildings visible from Tallevast Road shall have minimal blank walls no longer than 40' feet in length. In order to insure that the buildings do not project a massive blank wall, design elements including prominently visible architectural details (e.g., bumpouts, reveals, projecting ribs, offsets, windows, shutters, etc.) shall be applied to the walls of buildings visible from Tallevast Road. Design elements shall be reviewed for compliance by staff at Final Site Plan.
2. Exterior building materials shall consist of brick, architectural precast concrete panels, architectural masonry units, glass, stucco, ceramic tile, stone, wood, or similar materials. Painted or exposed concrete block, or corrugated metal shall not be permitted. Architectural metals in conjunction with other permitted building materials shall be allowed, provided that at least fifty percent (50%) of the building face is constructed from other permitted materials. Building elevations shall be with the Final Site Plan.
3. The maximum building height shall be 45 feet.
4. All roof mounted H.V.A.C. equipment, loading zones, and dumpsters shall be screened from view from Tallevast Road. Screening shall be provided by materials consistent with the exterior finish materials of the buildings, landscaping, or other opaque materials.
5. No outdoor storage is permitted. All permitted principal and accessory uses must be conducted entirely indoors.
6. No truck loading, service areas, outside storage, or parking of heavy equipment, semi trucks, trailers, or other vehicles over 1½ tons shall be located in drive aisles, off-street parking areas or adjacent to Tallevast Road.
7. The landscape buffers to the west (between the upland edge of the wetland buffer and adjacent edge of proposed pavement) and east property line, shall be 8 feet wide and shall be planted with one row of 5" caliper canopy trees (at least 14' in height) 40' on-center . A hedge is also required. Existing vegetation may be used to fulfill this requirement.
8. The 10' wide roadway buffer along Tallevast Road shall be planted with one row of 7" caliper canopy trees (at least 14' in height) 25' on-center. A hedge is also required.
9. Any proposed habitable structure within the AI Overlay District and identified on Table 1 of Section 604.5.3 as requiring special consideration, shall require an

acoustical analysis showing that the proposed design will limit exterior level as a condition of issuance of any building permit related to such structure. As a condition of the issuance of a Certificate of Occupancy, field testing is required to demonstrate compliance with Section 604.5.5. The test report showing compliance or non-compliance with prescribed interior allowable levels shall be submitted to the Building Department.

10. Prior to Final Site Plan approval, the engineer of record or architect must provide documentation to prove that concurrency has been met relative to fire flow.
11. All nuisance exotic vegetative species (e.g., Australian Pines and Brazilian Pepper) shall be removed from the entire 9.19 acre site.
12. The boundaries of the wetland buffers shall be marked with signs indicating that this is a wetland protection area. The number and location of such signs shall be approved by the Environmental Management Department with Final Site Plan approval.
13. The following transportation improvements shall be completed prior to Final Site Plan approval:
  - (a.) At the intersection of 15<sup>th</sup> Street East and Tallevast Road, extend the eastbound right-turn lane length from 50 to 200 feet.
  - (b.) Provide adequate intersection sight distance at each project driveway in agreement with AASHTO green book guidelines.
14. Prior to Final Site Plan approval, a solid waste/wastewater report will be required for the occupants.
15. Prior to Final Site Plan approval, the applicant shall be required to file a FAA Form 7460-1 "Notice of Proposed Construction" and provide a copy of this notice to Engineering & Environmental Affairs Office with the Sarasota Manatee Airport Authority.

# DETAILED CASE REVIEW

## PRIMARY REVIEWERS

- |                       |   |
|-----------------------|---|
| Aristotle Shinas (PD) | Compatibility, Timing, Health, Safety and Welfare, Consistency with LDC and Comp Plan, Historic Resource Impacts, Site Design |
| Al Wallace (PD)       | Impacts to Infrastructure (Public Utilities & Facilities)   |
| Husham Al-Kaisy (PD)  | Impacts to Infrastructure (Transportation, Concurrency)   |
| Bill O'Shea (EMD)     | Environmental Resource Impacts  |

**DETAILED STAFF REVIEW OF THE FACTORS FOR CONSIDERATION OF REZONING PURSUANT TO SECTION 504 OF THE LAND DEVELOPMENT CODE**

**1. COMPATIBILITY**

The following table illustrates the surrounding uses and zoning:

Surrounding Area	Existing Use	Zoning Classification
North	Vacant	A-1/WR/AI
South	Airport	PDMU/WR/AI
East	Post Office Distribution Facility	PDI/WR
West	Airport	PDMU/WR/AI

The site is vacant and zoned A-1/WR/AI.

The change in zoning does not present a compatibility issue with adjacent industrial users due to similar potential external impacts and uses.

PDI zoning requires site plan approval where stipulations can be placed on the project to mitigate potential incompatibilities, transition, as well as protecting existing or proposed character, or of principal view of, from, or through the WR Overlay District.

**2. TIMING, TRENDS, CHANGES TO EXISTING CONDITIONS**

The timing of the rezone may be deemed appropriate. University Park Commerce Center to the east is almost built out, with only a few parcels available for development. The timing of the proposed development is consistent with trends in the area and the IL FLUC.

Staff believes the request to rezone to PDI (Planned Development Industrial) is appropriate because this site requires innovative use of buffering and modern architectural design techniques to mitigate the external impacts of the development and create a helpful physical environment. A rezone to PDI will assure unified planning and development of this site to a greater extent than the current A-1 zoning.

**3. IMPACTS TO INFRASTRUCTURE**

Impacts shall be evaluated with the review of the Preliminary Site Plan section of this report.

**4. GENERAL HEALTH, SAFETY & WELFARE CONCERNS**

The proposed change will not adversely affect the health, safety, and welfare of the county as a whole.

The purpose of the AI Airport Impact Overlay District is to promote the public health, safety, and general welfare and ensure the compatibility between existing or future airports and the surrounding land uses by minimizing adverse impacts to noise sensitive land uses. Staff will discuss this issue in the Site Plan Analysis section of this report and recommend a stipulation for compliance with AI Overlay District requirements.

**5. ENVIRONMENTAL & HISTORIC RESOURCE IMPACTS**

This project is located adjacent to an unnamed drainage ditch. The ditch is considered jurisdictional and located off site along the western boundary of the project. The site plan shows the required 30' wetland buffer from the off-site wetland area.

The site contains no area classified as wetland by SWFWMD.

There are no known historical or archaeological resources located on-site.

**6. CONSISTENCY WITH LAND DEVELOPMENT CODE AND COMPREHENSIVE PLAN**

The proposed rezone must be in strict compliance with the Manatee County Land Development Code and Comprehensive Plan. The following policies were reviewed in preparing this staff report and are important policies to review and consider in evaluating the proposed development:



The Comprehensive Plan designates the site IL (Industrial Light) Future Land Use category.

**Policy: 2.1.2.3** allows the consideration of new residential and non-residential development with characteristics compatible with existing development, in areas which are internal to, or are contiguous expansions of existing development if compatible with future areas of development.

**Policy 2.1.2.4** requires limiting urban sprawl through the consideration of new development, when deemed compatible with existing and future development, in areas which are internal to, or are contiguous expansions of the built environment.

**Policy 2.6.1.1** require all adjacent development that differs in use, intensity, height, and/or density to utilize land use techniques to mitigate potential incompatibilities. Such techniques shall include but not be limited to:

- use of undisturbed or undeveloped and landscaped buffers,
- use of increased size and opacity of screening,
- increased setbacks,
- innovative site design,
- appropriate building design,
- limits on duration/operation of uses,
- noise attenuation techniques, and
- limits on density and/or intensity.

**Policy 2.1.2.7** review all proposed development for compatibility and appropriate timing. This analysis shall include:

- consideration of existing development patterns,
- types of land uses,
- transition between land uses,
- density and intensity of land uses,
- natural features,
- approved development in the area,
- availability of adequate roadways,
- adequate centralized water and sewer facilities,
- other necessary infrastructure and services.
- limiting urban sprawl

**Policy 2.2.1.18** Establish the Industrial-Light future land use category as follows:

**Policy 2.2.1.18.1 Intent:** To identify, textually in the Comprehensive Plan's goals, objectives, and policies, or graphically on the Future Land Use Map, areas which are established for a range of light industrial and other employment-oriented uses. Also, to prohibit new residential development other than individual single-family

units on lots of record in areas transitioning from agriculture to urban uses. This prohibition is intended to avoid adverse impacts on such uses and minimize the intrusion of residential uses in an industrial area. Also, to prohibit the development or use of these areas for locating heavy industries which have objectionable impacts with regard to height of accessory or incidental structures (e.g., smokestacks), noise, smoke, dust, vibration, or glare. Also, to establish areas for intensive commercial development which would have significant adverse impacts if located adjacent to expansive residential use areas. Also, to provide for the development of small commercial uses which would provide for the needs of workers in, or visitors to, or residents nearby, any area designated under this category. Also, to provide for lodging places to accommodate visitors to IL areas and to nearby areas.

**Policy 2.2.1.18.2 Range of Potential Uses (see Policies 2.1.2.3 - 2.1.2.7, 2.2.1.5):** Light industrial uses, offices, research/corporate uses, warehouse/distribution uses, intensive commercial uses, wholesale commercial uses, small retail commercial uses, service uses, selected residential uses, short-term agricultural uses, recreational uses, public or semi-public uses, schools, privately-operated airports, appropriate water-dependent/water-related/water-enhanced uses (see also Objectives 4.2.1 and 2.10.4), and hotels/motels.

**Policy 2.2.1.18.3: Range of Potential Density/Intensity:**

**Maximum Gross Residential Density:**  
1 dwelling unit per acre

**Maximum Net Residential Density:**  
1 dwelling unit per acre

**Maximum Floor Area Ratio:**  
0.75

**Policy 2.2.1.18.4 Other Information:**

- (a) Any project exceeding a floor area ratio of 0.35 shall require special approval, except for projects which contain a single industrial user and for which use of the project site is primarily for a manufacturing, processing, or assembly use.
- (b) Wholesale commercial uses, intensive commercial uses, and those small commercial uses which are located or proposed within an office or industrial park which has received special approval, as defined herein, are exempt from any commercial locational criteria contained in this element.
- (c) Light industrial uses are differentiated from heavy industrial uses not permitted within this category by definition of "objectional impact," as

referenced and further defined in Policy 2.2.1.18.1 above. Additional clarification on means of measuring and determining "objectionable impact" is found in Policy 2.6.3.1.

**Policy 2.2.2.7 Establish the AI Airport Impact Overlay District as follows:**

**Policy 2.2.2.7.1 Definition:** The geographic area subject to current or future projected noise exposure from any aviation facility of 65 Ldn or greater. This area is defined as the area contained within the 65 Ldn noise contour, as shown on the official noise exposure maps for the aviation facility (Map contained in the Aviation section of the Transportation Element).

**Policy 2.2.2.7.2 Purpose:**

- (a) To define geographic areas which will be subject to special review or regulation pursuant to Policy 5.11.1.2 and Objective 5.11.2.

**Policy 2.2.2.7.3 Applicable Goals, Objectives, and Policies:** Goals, objectives and policies pertaining to AI Overlay District are contained under Objectives 5.11.1 and 5.11.2 of the Aviation Sub-element, and Policy 2.9.2.1 of the Future Land Use Element.

**Policy 2.2.2.7.4 Effect of Mapping:**

- (a) Any project which is at least partially within the AI Overlay District shall be subject to the applicable requirements listed under Policies 2.2.2.7.2 and 2.2.2.7.3 above.
- (b) The area designated under the AI Overlay District on the Future Land Use Map shall also be subject to all goals, objectives and policies for any future land use category under the AI Overlay.

**Policy 3.3.1.5** requires protection of all wetlands from land development activities by requiring the establishment of natural area buffers adjacent to all post-development wetlands, except upland cut ditches in non-hydric soils. Such buffers shall be established according to the following schedule:

1. Fifty foot buffers shall be established adjacent to all in flowing watercourses located in the WO Overlay and all Outstanding Florida Waters and Aquatic Preserves;
2. Thirty foot buffers shall be established adjacent to all isolated wetlands and other wetlands not listed in (1) above; and

3. **Wetlands buffers may be increased for large areas of significant wetlands, for watershed protection, and to implement the goals, objectives, and policies of this Comprehensive Plan.**

**Land alteration or removal of native vegetation shall be prohibited in any buffers established according to this policy except to allow the removal of exotic species, small areas of impervious surface for stormwater outfalls, and to allow public access consistent with natural resource protection.**

**Policy 5.11.1.2 Maintain an Airport Impact Overlay district (see the Future Land Use Map series) for the area currently exposed to, or projected for exposure to, aircraft noise of 65Ldn or more to regulate land uses and minimize the development of land uses that would be severely impacted by exposure to aircraft noise within the Airport Impact overlay District.**

**Policy 5.11.1.3 Maintain adopted land development regulations that shall, at a minimum:**

- (1) **require that a Planned Development review process be utilized for the approval of new projects containing noise sensitive uses within the Sarasota-Bradenton International Airport's Airport Impact Overlay District, and**
- (2) **reference the 1993 Noise Exposure Maps for the Sarasota-Bradenton International Airport that were accepted or approved by the Federal Aviation Administration as part of the regulatory framework of the land development regulations. Land development regulations shall also identify recommended compatible uses within specified noise (Ldn) contours. Land development regulations associated with the Airport Impact Overlay District shall also be closely coordinated with the Sarasota-Manatee Airport Authority, and**
- (3) **provide, at the time of consideration of any proposed development order establishing a permitted use or increased residential density, for a review of compatibility of the proposed use or density with existing noise exposure levels, and with projected noise levels (See also Policy 5.11.1.2 above).**

**Policy 5.11.2.2 Maintain a development review process that requires noise level reduction within any structure to 45 Ldn as a condition for issuance of any building permit for residential or other noise sensitive uses within any Airport Impact Overlay District.**

**Implementation mechanism:**

- (a) **Implementation of procedures by the Manatee County Building Department to require all applicable building permits to be issued in a manner so as to require use of construction materials, and/or use of designs that achieve interior noise levels of 45 Ldn or less. As part of these procedures, the developers will also be required to submit certification that the structure(s) has met this condition, such certification prepared either by the architect or by a professional acoustician, prior to the issuance of a certificate of occupancy. All residential subdivision requests will be subject to the aforementioned requirements as a condition of Preliminary Plat approval, or similar approval.**

**Policy 5.11.2.3 Continue to involve the Sarasota-Manatee Airport Authority in the review of rezonings, Comprehensive Plan amendments, site plan approvals, and other appropriate development orders which are requested in the 65+ Ldn noise impact area of all airports under the Sarasota Manatee Airport Authority's jurisdiction, in order to ensure consistency with the Noise Compatibility Program for the Sarasota-Bradenton International Airport as established pursuant to Policy 5.11.1.1 or with any other noise compatibility program for other airports.**

**Objective 5.11.3 Airspace Protection: Limit obstructions by objects (as defined by FAR Part 77.5) that violate any general aviation or commercial airport's, clear zones, approach surfaces, transition surfaces, horizontal surfaces, and conical surfaces, and to protect against land uses that are incompatible with airport facilities and operations. Also, to establish airspace protection identical to that authorized for public use airports under Ch. 333, F.S. to private use airports, by local policy under this objective.**

**Policy 5.11.3.1 Require compliance with height and permitting restrictions within airport hazard areas established by airport zoning regulations developed pursuant to Ch. 333, F.S.**

**Policy 5.11.3.2 Prohibit the development of any structure violating any maximum height limitation imaginary surface indicated on Map 5H - Chapter 333, F.S. And Equivalent Height Limitations For Public Use And Private Use Airports. Map 5H shall be amended to reflect the addition of any new planned public use or private airports, or to reflect any changes in flight arrival/departure patterns associated with existing public use airports.**

**DETAILED STAFF REVIEW OF THE PRELIMINARY SITE PLAN STANDARDS:**

The SITE PLAN has addressed the Preliminary Site Plan standards of the Land Development Code, Section 603.4, as follows:

**1. SITE DESIGN**

This request is rezoning the 9.18 acres to PDI, with a Preliminary Site Plan to allow 197,280 sq. ft. of warehouse (174,780 sq. ft. and office 22,500 sq. ft. uses). Two buildings are proposed with each structure containing 98,640 sq. ft.

The development area consists of approximately 9.18 acres.

There are no wetland areas on site. A ditch runs along the west property line.

Construction is estimated to start in 2001 with one phase. Two access points are provided to Tallevast Road.

A five foot sidewalk is shown along Tallevast Road.

Two buildings are proposed, not to exceed 45 feet. The Floor Area Ratio is 0.493 which is significantly less than that potentially allowed within the IL FLUC. The building setbacks exceed the minimum setbacks required for the PDI zoning district (front: 30', sides: 15', and rear: 20').

The parking is located around and between the two buildings. A dry retention pond ( $\pm 0.86$  acres) is proposed at the rear of the buildings. The loading areas are proposed between the buildings. No outdoor storage area is proposed.

A 10 foot wide landscaped roadway buffer is provided along Tallevast Road. The west and east boundary line is buffered with a 8 foot wide landscaped strip.

The design features of this proposal appear to adequately comply with the requirements of the Land Development Code and the Comprehensive Plan.

## 2. COMPATIBILITY

This appears to be a logical transition given the IL FLUC. The change to a warehouse and office use does not present a compatibility issue with adjacent industrial users due to similar potential external impacts and uses. Staff is concerned with the mass and scale of the buildings, potential adverse visual impact along Tallevast Road associated with warehouse use (truck loading, service areas, possible outside storage, and parking of heavy equipment, semi trucks, trailers, or other vehicles over 1½ tons). Staff recommends stipulations to mitigate potential incompatibilities and reduce adverse visual impact.

The site falls within the Whitfield Residential Overlay District. The purpose of the WR District is to: officially designate areas having special and substantial public interest in protection of existing or proposed character, or of principal view of, from, or through the WR Overlay District. Staff recommended design stipulations, enhanced landscaping and increased setbacks will help reduce visual impacts and protect the character of the WR Overlay District.

The site also falls within the AI Overlay (75+ LDN Noise Contour), an acoustical analysis will be required to show the proposed design will limit exterior noise to the

prescribed allowable interior level as a condition of issuance of any building permit related to such structure. Staff will recommend a stipulation for compliance with AI Overlay District requirements.

**3. PUBLIC UTILITIES/FACILITIES**

A 10" waterline, a 2" forcemain, and gravity sewer exist within the Tallevast right-of-way.

The development is located within the Whitfield Fire Control District of Manatee County.

**4. PRESERVATION/CONSERVATION**

No known historical or archaeological resources are located on-site. The parcel is adjacent to the ditch off-site along the west property line, which is considered jurisdictional and requires a 30 foot wetland buffer.

This site is not located in the 100 year floodplain.

The project does appear to fall within the Coastal Planning Area. Policy 4.1.2.1 requires developments within the Coastal Planning Area to preserve representative tracts of native upland communities. Additionally, Policy 4.1.2.3 requires the removal of exotic plant species from the land development sites within the Coastal Planning Area. Based upon the response prepared by the Environmental Consultant for the applicant, no significant uplands found. Staff is recommending a stipulation for the removal of exotic plant species from the site. 30' wetland buffer is now shown east of the off-site ditch on the site plan.

The open space consists of buffers, landscaped open space, and dry retention. The landscaped open space is ± 102,695 sq. ft. (25.64%).

**5. CONCURRENCY**

Applications for Certificate of Level of Service Compliance for potable water, sanitary water, solid waste, traffic and transit have been approved.

At this time, Tallevast Road (between U.S. 41 and 301 Blvd.) has adequate capacity and is operating at or above the adopted level of service "D". Pursuant to the "Concurrency Transportation Link Sheet" for this segment of Tallevast Road, the generalized tables reflect a p.m. peak hour base/existing count of 925 trips with 155 trips currently reserved. To maintain the required Level of Service Standard of "D", the total existing and reserved trips cannot exceed 1,290 p.m. peak hour trips.

The traffic has been approved. Staff is recommending a stipulation addressing transportation improvements on-site and off-site for this development. Final engineering drainage design must be approved prior to Final Site Plan approval.

The Engineer of Record/Architect must provide documentation to prove that concurrency has been met relative to fire flow per Section 11.5.1.4 of the Comprehensive Plan.

All traffic control signage and pavement markings, if warranted, shall conform to FDOT and MUTCD standards.

As designated on the Manatee County Right-of-Way Needs Map in this location, Tallevast Road requires a right-of-way of 120' feet (60' half-width right-of-way) with the existing half width adjacent to this proposed development of 60'. The area of dedication shown on the site plan appears to conform with the approved design for the planned roadway improvements.

Dedication documents for this right-of-way shall be approved by the Transportation Department before any Certificate of Occupancy will be issued.

The applicant has been advised that all required set-backs shall begin at the new dedicated right-of-way line. No drainage facilities, structures, parking, or landscaping shall be located within the required right-of-way.

#### 6. CONSISTENCY WITH THE COMPREHENSIVE PLAN

The proposed Preliminary Site Plan must be in strict compliance with the Manatee County Comprehensive Plan. The following policies were considered in preparing this staff report and are important policies to review and consider in evaluating the proposal:

**Policy: 2.1.2.3 allows the consideration of new residential and non-residential development with characteristics compatible with existing development, in areas which are internal to, or are contiguous expansions of existing development if compatible with future areas of development.**

**Policy 2.1.2.4 requires limiting urban sprawl through the consideration of new development, when deemed compatible with existing and future development, in areas which are internal to, or are contiguous expansions of the built environment.**

**Policy 2.1.2.7 review all proposed development for compatibility and appropriate timing. This analysis shall include:**

- consideration of existing development patterns,
- types of land uses,
- transition between land uses,
- density and intensity of land uses,
- natural features,
- approved development in the area,
- availability of adequate roadways,



- adequate centralized water and sewer facilities,
- other necessary infrastructure and services,
- limiting urban sprawl

**Policy 2.2.1.18 Establish the Industrial-Light future land use category as follows:**

**Policy 2.2.1.18.1 Intent:** To identify, textually in the Comprehensive Plan's goals, objectives, and policies, or graphically on the Future Land Use Map, areas which are established for a range of light industrial and other employment-oriented uses. Also, to prohibit new residential development other than individual single-family units on lots of record in areas transitioning from agriculture to urban uses. This prohibition is intended to avoid adverse impacts on such uses and minimize the intrusion of residential uses in an industrial area. Also, to prohibit the development or use of these areas for locating heavy industries which have objectionable impacts with regard to height of accessory or incidental structures (e.g., smokestacks), noise, smoke, dust, vibration, or glare. Also, to establish areas for intensive commercial development which would have significant adverse impacts if located adjacent to expansive residential use areas. Also, to provide for the development of small commercial uses which would provide for the needs of workers in, or visitors to, or residents nearby, any area designated under this category. Also, to provide for lodging places to accommodate visitors to IL areas and to nearby areas.

**Policy 2.2.1.18.2 Range of Potential Uses (see Policies 2.1.2.3 - 2.1.2.7, 2.2.1.5):** Light industrial uses, offices, research/corporate uses, warehouse/distribution uses, intensive commercial uses, wholesale commercial uses, small retail commercial uses, service uses, selected residential uses, short-term agricultural uses, recreational uses, public or semi-public uses, schools, privately-operated airports, appropriate water-dependent/water-related/water-enhanced uses (see also Objectives 4.2.1 and 2.10.4), and hotels/motels.

**Policy 2.2.1.18.3: Range of Potential Density/Intensity:**

**Maximum Gross Residential Density:**  
1 dwelling unit per acre

**Maximum Net Residential Density:**  
1 dwelling unit per acre

**Maximum Floor Area Ratio:**  
0.75

**Policy 2.2.1.18.4 Other Information:**

- (a) Any project exceeding a floor area ratio of 0.35 shall require special approval, except for projects which contain a single industrial user and for which use of the project site is primarily for a manufacturing, processing, or assembly use.
- (b) Wholesale commercial uses, intensive commercial uses, and those small commercial uses which are located or proposed within an office or industrial park which has received special approval, as defined herein, are exempt from any commercial locational criteria contained in this element.
- (c) Light industrial uses are differentiated from heavy industrial uses not permitted within this category by definition of "objectional impact," as referenced and further defined in Policy 2.2.1.18.1 above. Additional clarification on means of measuring and determining "objectionable impact" is found in Policy 2.6.3.1.

Policy 2.6.1.1 require all adjacent development that differs in use, intensity, height, and/or density to utilize land use techniques to mitigate potential incompatibilities. Such techniques shall include but not be limited to:

- use of undisturbed or undeveloped and landscaped buffers,
- use of increased size and opacity of screening,
- increased setbacks,
- innovative site design,
- appropriate building design,
- limits on duration/operation of uses,
- noise attenuation techniques, and
- limits on density and/or intensity.

Policy: 2.11.1.1 Provide for a wide range of employment-oriented uses within the industrial categories on the Future Land Use Map by permitting consideration of office uses, warehouse/distribution uses, office/showroom uses, wholesale uses, intensive commercial uses, research uses, limited neighborhood retail uses, and lodging places, in addition to manufacturing processing, and assembly uses within the Industrial-Light category. Also, to permit a more limited, but diverse range of uses in the Industrial-Heavy, Industrial-Urban, and Mixed Use categories. (See also obj. 2.6.3 and associated policies.)

Policy 4.1.2.1 requires developments within the Coastal Planning Area to preserve representative tracts of native upland communities.

Policy 4.1.2.3 requires removal all exotic plant species from land development sites in the Coastal Planning Area during construction unless extreme soil stabilization measures would be required to prevent soil erosion.

**ATTACHMENTS:**

1. Development Review Committee Comments
2. Letter from Sarasota Manatee Airport Authority dated February 15, 2001
3. Noise Exposure Map
4. Environmental Response from John Henslick
5. Letter from Mark Privette dated 03/08/01
6. Zoning Disclosure Affidavit
7. Copy of Newspaper Advertising

MANATEE COUNTY PLANNING DEPARTMENT  
GROWTH MANAGEMENT SECTION  
DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENTS  
(941) 749-3070

DATE: FEBRUARY 22, 2001

PROJECT NAME: RINGLING CENTRE FOR INDUSTRY  
PDI-00-02(Z)(P)  
197,280 SQ FT (2-98,640 SQ FT BLDGS) OFFICE/WHSE/LIGHT INDUSTRIAL

ADDRESS: 500 TALLEVAST ROAD, SCT

PLANNER: ARIS SHINAS (x)6882

TRANSPORTATION ENGINEER: HUSHAM AL-KAISY (x)6863

CONCURRENCY: MICKI RYAN (X)6904/SUSAN BARFIELD (x)3842

**[PLEASE NOTE: THESE COMMENTS ARE BASED ON INFORMATION SUBMITTED AND ARE SUBJECT TO REVIEW AS APPLICABLE](FYI: THE ENGINEER ON THIS CASE IS MIKE HARRISON)**

**CONCURRENCY/TRANSPORTATION RELATED COMMENTS:**

- I. This submittal may proceed when the comments listed below and the comments issued by the other DRC members are satisfactorily addressed.

N/A

- II We offer the following suggestions, comments and concerns for this proposal; however, these do not necessarily require a revision to your application at this time.

At this time, Tallevast Road (between US 41 and 301 Blvd.) has adequate capacity and is operating at or above the adopted level of service "D". However, applicant is advised that capacity is not reserved at this stage, nor is capacity guaranteed as being available at time of actual development.

Pursuant to the "Concurrency Transportation Link Sheet" for this segment of Tallevast Road, the generalized tables reflect a pm peak hour base/existing count of 925 trips with 155 trips currently reserved. To maintain the required Level of Service Standard of "D", the total existing and reserved trips cannot exceed 1290 pm peak hour trips.

III. General Information

Applications for Certificate of Level of Service Compliance for potable water, sanitary water, solid waste traffic and transit have been approved.

Prior to final site plan approval, a solid waste/wastewater report will be required for the proposed occupants.

Traffic has been approved with the following stipulations, which must be completed prior to final site plan approval:

1. At the intersection of 15<sup>th</sup> Street East and Tallevast Road, extend the eastbound right-turn lane length from 50 to 200 feet. Eligible for impact fee credit.
2. Provide adequate intersection sight distance at each project driveway in agreement with AASHTO green book guidelines.

Drainage design intent shall be indicated on the preliminary site plan. Final engineering drainage design must be approved prior to final site plan approval.

Prior to final site plan approval, the Engineer of Record/Architect must provide documentation to prove that concurrency has been met relative to fire flow per Section 11.5.1.4 of the Comprehensive Plan.

All traffic control signage and pavement markings, if warranted, shall conform to FDOT and MUTCD standards.

If there are any questions pertaining to concurrency and/or transportation, please contact Micki Ryan at 749-3070 extension 6904.

**RIGHT-OF-WAY RELATED COMMENTS:**

- I. **This submittal may proceed when the comments listed below and the comments issued by the other DRC members are satisfactorily addressed.**

N/A

- II **We offer the following suggestions, comments and concerns for this proposal; however, these do not necessarily require a revision to your application at this time:**

N/A

- III. **General Information**

As designated on the Manatee County Right-of-Way Needs Map in this location, Tallevast Road requires a right-of-way of 120 feet (60' half-width right-of-way) with the existing half width adjacent to this proposed development of 60 feet and is acceptable as shown on the site plan.

If there are any questions pertaining to the right-of-way comments, please contact Micki Ryan at 749-3070 extension 6904.

cc: Concurrency File # PDI-00-02(Z)(P)  
Public Works and Transportation Concurrency Group  
(Dave Branning, Wayne Roberts, Sia Mollanazar)  
Peggie Wallace, Impact Fees

# Whitfield Fire Control District

Prevention Division ~ 7555 Ponce de Leon ~ Sarasota, FL 34243  
Phone (941) 355-2013 ~ Fax (941) 358-0535 ~ Email wfd802@tampabay.rr.com

October 7, 2000

Manatee County Government  
Planning Department  
1112 Manatee Ave. W.  
P.O. Box 1000  
Bradenton, FL 34206-1000

*Aristotle*


Re: Ringling Centre for Industry; PDI-00-02(Z)(P)

The Whitfield Fire Control District has reviewed the above mentioned project. The project was reviewed in regards to water supply, emergency egress, emergency vehicle access, water supply, and compliance with applicable fire codes. The Whitfield Fire Control District has the following comments regarding this project:

1. Fire Department Connection on the Fire Line Backflow Preventers shall be of the 5" Storz type.
2. Addition of a fire hydrant on the south side of the proposed buildings.
3. Minimum 36" access way to the fire hydrant and fire department connections on the North side of the project. Please adjust parking to compensate.  
Alternative - Place hydrant and FDC's closer to Tallevast Road, facing roadway.

If you have any questions regarding this project, please feel free to contact me at the office (941) 355-2013, or via pager 1-877-335-1816.

Respectfully,

  
Timothy B. Harvey,  
Fire Marshal/Deputy Chief

cc: Prevention File  
Cyrix Engineering, Inc.



Post-it® Fax Note	7671	Date	12/20	# of pages	2
To	Michael Famiglio		From		
Co./Dept.			Co.		
Phone #			Phone #		
Fax #	941-340-7209		Fax #		

## M E M O R A N D U M

**DATE:** December 19, 2000

**TO:** Aristotle Shinas, Principal Planner  
Planning Department

**FROM:** William C. O'Shea, Environmental Manager *WCS*  
Environmental Management Department

**SUBJECT:** **Development Review Comments**  
**Ringling Center For Industry PDI-00-02(Z)(P)**

The Environmental Management Department offers the following revised comments for the above referenced request for rezone with Preliminary Site Plan:

### Air Quality

Prior to development-related land clearing activities, all applicable County approvals must be obtained through the Planning Department. If burning of trees and/or branches is required for land clearing, a burn permit must be first obtained from the Environmental Management Department. **No burn permits will be issued until Final Site Plans/Construction Plans are approved.**

**Prior to Final Site Plan approval**, a completed application for Fugitive Particulate Abatement must be submitted to the Environmental Management Department.

### Natural Resources

Wetland buffers have been delineated on the site plan, as previously requested.

The following development order condition is recommended:

**All exotic plant species shall be removed from the entire site in accordance with Comp. Plan Policy 4.1.2.3, prior to the first Certificate of Occupancy issuance.**

## Water Quality

Sediment and erosion control (S&EC) measures are required by Sections 717.3.17 and 717.4.2.7 of the LDC. S&EC drawings, details or notes have not been included in this submittal.

**Drawings, details and/or notes for S&EC should be submitted to the EMD for review and approval, prior to Final Site Plan approval.**

## Water Well Permitting Program

Section 738.2.3 of the LDC requires that site plans that accompany applications for development approval show the location of all active and inactive wells. **All existing wells should be delineated on the Final Site Plan, with the well size indicated or applicant response should indicate that there are no wells on-site.**

SWFWMD Rule Chapter 40D-3.531 requires the proper abandonment of all unused wells.

A Water Use Permit (WUP) is required for individual/clusters of wells located within the Most Impacted Area (MIA) with a cumulative o.d. of 6" or greater. **If applicable, a copy of all WUPs should be submitted to the EMD Water Well Permitting Program.**

A Water Well Construction Permit is required from the EMD for the proposed well prior to well construction.

If you have any questions or comments, please contact me at extension 5980.

WCO:hs

cc: Douglas D. Means



**MANATEE COUNTY GOVERNMENT**  
**INTEROFFICE MEMORANDUM**

DATE: October 3, 2000

TO: Aris Shinas, Planning Department

FROM: Sandy Tudor, Construction Tech II, Floodplain Section, Building Department

SUBJECT: PDI-00-02(Z)(P), Ringling Centre for Industry

1. Project site falls in Zone C per FIRM Panels 120153 0343B.
2. There are no requirements for Floodplain Management.

## DRC REVIEW COMMENTS

DATE: October 5, 2000

PROJECT NAME: RINGLING CENTRE FOR INDUSTRY

PLANNING NUMBER: PDI-00-02(Z)(P)

PLANNER: Shinas REVIEW ENGINEER: Harrison

---

### COMMENTS:

#### Mayer

- Extend 10" water line to west end of property.
- Final site plan with water and wastewater permits to be submitted to Manatee County Public Works Engineering Department for review.
- Existing manhole being tied to with the 2" force main and first manhole downstream must be fiberglass lined by the developer.

#### Earlhey / Andruzzi

Plans show two (2) sets of dumpsters, 10x10x5 pad and enclosures with gates. See County Ordinance 85-11 and L.D.C. #728.5.12 for adequate maneuverability for lift truck.

#### Jones

Ordinance 99-24 of the L.D.C. requires 120 feet of right-of-way for Tallevast Road. The boundary survey shows 60+ feet half right-of-way existing. No additional right-of-way required at this time.

#### Aliff / Lilly

No comment.

(ARIS)

# ENGINEERING DRC COMMENTS

(941) 749-3070; Fax-749-3071; email-www.co.manatee.fl.us/planning

FLUC LM, ZONING A-1, FLOOD ZONE C, LOCATION 500 TALLEVAST RD.

PROPOSAL OFFICE/WAREHOUSE RINGLING CENTER DRC No. PDI 00-02 (2)(P)

PREPARED BY: Mike Harrison, DATE: 10-21-00

MIKE HARRISON-EXT. 6853

## WATER:

CP 9.5  
LDC 722.1.8.2

1.5" METERS REQ'D AN  
ABOVE GROUND ASSY.  
IF CALL ARE MODIFIED  
W/FSP THIS WILL CHANGE.

- 10" "waterline exists within TALLEVAST ROW.
- Water meter sizing calcs signed/sealed by AIA/PE. Show meter and backflow at ROW lines. 1 1/2" METERS ARE O.K.
- Potable well permitted thru HRS. Contact Gary Cochran at 748-0747, extension 1415.
- Backflow preventor required/not required.
- Construction plan processing for waterline extension required. (See Below Directions)
- Participation for oversizing to be reviewed by Dave Branning at extension 5044.

## SEWER:

CP 9.1  
LDC 722.1.8.1  
LDC 722.1.8.12  
\*LDC 722.1.8.1.3  
CP 9.2.2.1  
CP 9.2.2.2  
\*CP 9.2.1.2

- "Forcemain exists within \_\_\_\_\_ ROW. Connection shall be via pump station and forcemain.
- Gravity sewer is available within TALLEVAST RD. ROW.
- FORCE MAIN extension & construction plan processing required.
- Sewer Service Connection to existing main/manhole required. Show on plan w/note to coordinate w/Bayshore Office at 755-1853.
- Sewer connection not mandatory. Permit thru HRS. Contact Gary Cochran at 748-0747, extension 1415.
- Participation for oversizing to be reviewed by Dave Branning at extension 5044.
- Connection required if in wastewater collection area, unless exempted by Ord. 89-02 (1000 G.P.D.)
- Sewer Connection required for new commercial and residential structures located in WO-E when located within 1 mile of sanitary sewer.
- Prohibit septic tanks in WO-E except for single family units
- If the 2 above cannot be met, special approval by Board of County Commissioners required.\*

## SOLID WASTE

LDC 728  
CP 9.3

COMPACTORS MAY BE  
NEEDED.

- Can service required. Show 5' x 8' concrete slab with 3' high opaque fence with gate on plans.
- Dumpster service required. Show 10' x 10' inside dimension w/6' high opaque fence and gates. Placement is to be accessible by a 40' truck w/minimal backing, not in front yard, not within 10' of property lines nor buildings. If placed within 10' of building, show sprinkler head mounted on outside wall above dumpster.
- Food service for the above required.
- LDC 737, entranceway criteria for siting and screening.

## FIRE PROTECTION:

CP 9.6.1.4  
LDC 722.1.8.4  
730

- Fire Marshal written approval indicating type of protection required.
- 2000 GPM from hydrant(s) required. Show FH, flow data obtained from fire marshal, and distance to front door. Maximum distance is 400'; or Fireline required with 1000 GPM flow rate from hydrant within 50' of fire department connection. Show flow w/backflow at ROW on plan and provide calculation by P.E. to support 1000 GPM.

If non-residential building is less than 10,000 square feet, with fire marshal approval, the required fire protection is 1 gallon/10 s.f. but not less than 750 GPM

Initial MSK

Date 10-21-00

DRC No. PDI 00-02 (2)(P)

and hydrant must be within 400'. Show FH, flow data obtained from fire marshal, calculation of required flow, and distance to front door on plan.

- Construction plan processing for waterline extension required. (See below directions)
- Coordinate w/Public Work's Betty King for hydrant/fire line stub installation by County forces. Call 748-4501, extension 5245.
- Contact UTILITY DEPT. at 792-8811, extension 5035 for availability of Effluent Reuse. Where available, mandatory connection required. This does not apply in WO-E/WO-M overlays.
- Design & use wet Stormwater facility. OR WELL

**IRRIGATION:**

LDC 722.1.3  
CP 9.1.5.4

**SIDEWALKS:**

LDC 722.1.4

- 5' wide required on all roads north and west side.
- Sidewalk required on all property lines abutting the street for development within 1 waking mile of any elementary or middle school, in PR, NC, GC, HC, LM, HM zoning districts, in non-residential planned development districts, or within a 1500 foot radius of a transit stop.
- Exemptions are for local road where sidewalks do not exist within 1000 feet to properties zoned A, A-1, LM, HM, or EX, or if project abuts a ROW scheduled for CIP.
- Extend sidewalks to existing sidewalks located within 1000 feet.

**ACCESS:**

LDC-711, 712, 713

- FDOT written response required.
- Driveway(s) to be constructed to County standards, setback from intersection per LDC 711.4.1, setback from property line per LDC 711.4.4, 25' radius or 3' x 8' flares for the returns, and 24' minimum /36' maximum widths.
- Agriculturally zoned or greater than 5 acres type projects may have more than 2 drives if a superior design and safety alternative is proposed and approved by the Planning Director.
- Smooth - dustless surface such as asphalt or concrete required.
- FDOT #57 rock, washed shell or crushed granite with Geoweb containment grid acceptable as driveway on private property.
- Show proposed elevations for swale drive, or culvert, culvert sizing calculations, locations, distance from property line and intersection, and note that construction is per Manatee County standards.

**DRAINAGE:**

CP 9.4  
LDC 717

- Watershed/OFW standards apply. Water quality computations shall show an additional 50% more treatment.
- Open system = Positive outfall to be demonstrated with use of 25 year/24 hour, zone 6 (per SWFWMD), first 1/2 "treatment, Qpost = Qpre balancing. Stormwater design by Professional Engineer. Show all computations for project size, Qpre, Q-Post narrative, treatment volume and elevation, stage/storage, 6" freeboard, underdrain, discharge geometric, 12" between pond bottom and SHWL for dry retention, DHWL, NWL, 6' depth of normal pool (for wet detention) and SCS/soil test results.
- Closed system = No positive outfall. To be demonstrated with use of 100 year/24 hr., 12" of freeboard, Zone 6 (per SWFWMD). Stormwater design by Professional Engineer. Show emergency pop off, design, location and outfall.
- Qpost shall be reduced by 50% due to known flooding.
- Provide copy of SWFWMD application.
- Show on plan cut and fill balancing calculations by PE as required in "A" floodzones.
- Discharges to tidally influenced water body. No attenuation required, only water quality of first 3/4".

*CALL TO DISCUSS QPRE'  
ARTIFICIAL REDUCTION.*

*T.O.B = 18.5 (MSL)  
HIGH WATER ELEV. ALSO  
= 18.5 ?*

Initial MJR

Date 10-21-00

DRC No. PD1 00-02 (2)(P)

**CONSTRUCTION  
PLAN REVIEW:**

LDC 722.2

**FEE SCHEDULE**

**MISCELLANEOUS**

- Submit to Chris Mowbray, P.E., of this office 4 sets of engineering plans, permits, calculations & construction drawing review fee. (see fee schedule below)
- 60 day review period maximum between submittal and sign-off of site plan.
- Submit with application an \$85.00 Final Inspection Fee (PII) for each phase of construction requiring Certificate of Occupancy release. Note that each phase shall stand alone for engineering, planning, zoning, and landscape features.
- Construction drawing review fee (CD) shall be submitted with Construction Plans. The amount shall be \$370.00 & 12.50 unit/ and/or \$1.85/each 500 square feet of non-residential building area over 10,000 SF.
- Fireline only construction drawing review fee (CD) shall be submitted with construction plans. The amount shall be \$110.00.
- Manatee County Design Standards for water, wastewater, reclaim, and stormwater available for purchase either in book or Autocad format. Contact Sallie Vanostenbridge at 792-8811, extension 5020.
- CERTIFICATION (signed and sealed) FOR CO RELEASE shall be submitted to MIKE HARRISON of this office once the project is 100% complete AND meets substantial compliance with the approved plans. This certification shall INCLUDE ALL SITE PLAN REQUIREMENTS INCLUDING BUT NOT LIMITED TO ROW DEDICATIONS, EASEMENTS AND REQUIRED IMPROVEMENTS. A FINAL INSPECTION WITHIN 48 HOURS will occur. If approved, notification to Inspection Coordination will be made. If inspection proves inadequate, a Deficiency Notice will be posted on the building permit noting same. CERTIFICATIONS listing outstanding construction or substantial deviations are considered STATUS/PROGRESS reports. For TCO requests, the replacement trees (if required), safe ingress/egress for the general public, and the site's improvements shall be in place and functioning.

*NOTE: I HAVE NO OBJECTION TO THESE PLANS AS SUBMITTED FOR PRELIMINARY APPROVAL. THE ABOVE COMMENTS SHALL APPLY AT THE TIME OF FINAL SITE PLAN SUBMITTAL. NONE OF THE ABOVE ISSUES ARE CONSIDERED MAJOR AND NEED NOT BE REQUESTED AS STIPULATIONS.*

*THANK YOU  
10/21/00  
Michael J. Harrison*

*Aris*

**MANATEE COUNTY HEALTH DEPT.**  
**410 6th Ave. E., Bradenton, FL. 34208**  
**ENVIRONMENTAL HEALTH SERVICES DEVELOPMENT REVIEW COMMENTS**

**DATE: 12-21-00**

**PROJECT NO: PDI-00-03(Z)(P)**

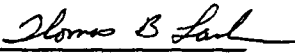
**PROJECT NAME: Ringling Center for Industry**

- 1. County Water - County Sewer.
- 2. Permit for Water Distribution System is required prior to start of construction.
- 3. Permit for Water Treatment Plant is required prior to start of construction.
- 4. County Water - Private Package Sewage Treatment Plant.
- 5. County Water - Septic Tank.
- 6. Private Well - Septic Tank.
- 7. On-Site Sewage disposal system of adequate size currently being utilized.
- 8. Abandoned septic tanks shall be pumped out, bottoms ruptured, and filled with clean sand or other suitable material (permit required from Manatee County Health Dept. unless permitted by County Public Works).
- 9. Size, type and location of septic system shall be based on site survey, soil log and plan review conducted by this department or a Florida Registered Engineer.
- 10. 75 feet separation between private potable well and septic system.
- 11. 100 feet separation required between limited use public potable well and the septic system.
- 12. 200 feet separation required between public potable well and the septic system.
- 13. Any existing wells to be located, the casing extended above existing grade, marked and capped for future use.
- 14. When lake water is utilized for landscape irrigation, a separate color-coded irrigation system shall be installed & written information stating that "the water is not for human consumption" shall be provided to the residents.
- 15. All wells in the area to be developed/excavated shall be identified by the engineer of record and plugged with neat cement from bottom to top by a Florida Licensed Well Driller prior to development or excavation.
- 16. All requirements of Chapter 64E-11 shall be met prior to approval/licensure as a public food service establishment.
- 17. Any food service, e.g., coffee sales, requires installation of a three-compartment sink and separate hand washing sink.

- XX 18. Adequate sanitary facilities shall be provided on a business per business basis.
- XX 19. Adequate sanitary facilities shall be/have been provided for employees/patrons
- \_\_\_ 20. Any food service facility for the consumption of food on the premises shall have a urinal in the men's room, in addition to the toilet and hand washing sink.
- \_\_\_ 21. Adequate sanitary facilities, e.g., portable toilets, shall be provided for employees.
- \_\_\_ 22. Inspection and approval is required from Dept. of Agriculture and Consumer Services, Bureau of Food & Meat Inspection, Lab Complex M-A, 3125 Conner Blvd., Tallahassee, Fl. 32399-1650, Ph: 904-488-3951 or 1-800-435-7352.
- \_\_\_ 23. Inspection and approval is required from Dept. of Business & Professional Regulations, Restaurant Program, 4100 Center Pointe Dr., Suite 107, Ft. Myers, Fl. 33916, Ph: 813-278-7355 or 1-800-226-7359.
- \_\_\_ 24. A properly sized grease interceptor of not less than 750 gallon capacity shall be located external to the structure.
- \_\_\_ 25. Dumpster unit shall be located on a curbed and elevated concrete pad, sloped to a drain, equipped with a grit interceptor with a removable bucket, connected to sanitary sewer, and equipped with a hose bibb on site.
- XX 26. Industrial wastes are to be handled in accordance with all Federal, State, and Local Regulations.
- \_\_\_ 27. A grease-grit interceptor shall be provided.
- \_\_\_ 28. Waste water from car wash shall be handled as specified by Manatee County Environmental Management Department.
- \_\_\_ 29. Fuel tanks shall be registered with the Department of Environmental Protection and comply with Chapters 17-761 and 17-762, F.A.C.
- XX 30. To facilitate handling and maintenance, dumpster shall be placed on concrete pads, the locations to be reviewed by Manatee County Public Works Dept.
- \_\_\_ 31. Disposal of biohazardous/biomedical waste shall be in accordance with Chapter 64E-16. Permits are required for each generator in the facility.
- \_\_\_ 32. Florida Administrative Code requires adequate sanitary facilities be provided in recreational areas.
- \_\_\_ 33. Swimming pools shall meet the standards in Chapter 64E-9.
- \_\_\_ 34. All requirements of Chapter 65C-22, F.A.C., shall be met prior to licensure as a Day Care Center.

- \_\_\_ 35. Inspection and approval required from Health Care Administration, 7827 N. Dale Mabry, Tampa, Fl., prior to licensure, (e.g., nursing homes, ACLF's) 813-975-4255.
- \_\_\_ 36. Inspection and approval required from Department of Children & Families, 465 Cortez Rd. West, Bradenton, FL. 34207, Phone number 941-727-6520.
- \_\_\_ 37. Aircraft hangers: There will be no mechanical work performed at the location, nor retail sales.
- \_\_\_ 38. A hair strainer shall be provided in the sink.
- \_\_\_ 39. Water, sewer, and sanitary facilities are not required in electronic switching stations with no permanent or part-time employees.
- \_\_\_ 40. Rezone: This \_\_\_\_\_ acres to be rezoned to \_\_\_\_\_. Future use of the property shall conform to all aspects of the Florida Administrative Code with respect to sanitary sewage disposal and water supply.
- \_\_\_ 41. Additional Comments:

Signed:

  
Thomas B. Larkin  
Environmental Specialist II

(DRC)



Husham Abdulsattar  
11/30/2000 12:08 PM

To: Barney Salmon/Planning@Planning, Aristotte  
Shinas/Planning@Planning, Norm Luppino/Planning@Planning

cc:  
Subject: Manatee Co. Reviews

FYI, attached are FDOT access management comments.

Husham

Husham Al-Kaisy, Ph.D., P.E.  
Manatee County Planning Dept.  
Bradenton, FL  
(941) 749-3070 ext. 6863 Fax (941) 749-3071  
Husham.Abdulsattar@co.manatee.fl.us  
--- Forwarded by Husham Abdulsattar/Planning on 11/30/00 12:02 PM ---



David Smith  
<David.Smith@dot.state.fl.us>  
11/30/00 09:00 AM

To: "husham.abdulsattar" <husham.abdulsattar@co.manatee.fl.us>  
cc: Gary Amig <Gary.Amig@dot.state.fl.us>

Subject: Manatee Co. Reviews

Mr. Al-Kaisey

Access Management has reviewed the following projects for Man. Co. and have attached comments for each reviewer. We hope this will assist you and your staff with these projects.

Should you have any questions, please call me at (863) 519-2646.

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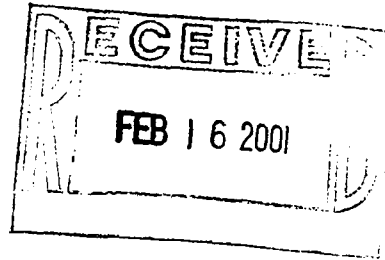
Aris Shinas PDI-00-03 (Z) (P) ( Ringling Centre for Industry )

This project is located off the state highway system on Tallevast Rd. but may have an impact on the intersection of US41 @ Tallevast Rd. Have the applicant submit traffic impact information to Mr. Ed Giddens at the Sarasota Maint. office for review.

-----  
--

Barney Salmon AP-00-88 ( RaceTrac # 679 )  
Mike Harrison

This project proposes a connection to US41 and will require permitting. The applicant / engineer for this project has submitted permit application info. to FDOT for a connection permit ( dated 11/20/00 )



Sarasota Bradenton  
International Airport

6000 Airport Circle  
Sarasota, FL  
34243-2105

Engineering & Environmental  
Affairs Office

(941) 359-5009  
Fax: (941) 359-5007  
Suncom  
Phone: 518-6034  
Fax: 518-6034  
www.srq-airport.com

February 15, 2001

Aris Shinas  
Case Planner  
Manatee County  
1112 Manatee Ave. W.  
Bradenton, FL 34205

**RE: RINGLING CENTER FOR INDUSTRY  
PDI-00-03(2)(P)**

Dear Mr. Shinas:

Thank you for providing preliminary site plan information to the Sarasota Manatee Airport Authority on this project. The SMAA is interested in actual building construction, height and height of any equipment, temporary or permanent. The developer is required to follow federal requirements for the buildings by the filing of FAA Form 7460-1 "Notice of Proposed Construction" in accordance with the instructions attached to the form (copy enclosed). The developer should include data on the use of any crane used during building construction. This site is in proximity to the approach to Runway 14 at Sarasota Bradenton International Airport. We also request that the developer provide a copy of the 7460-1 to this office as well.

In the future, you may wish to provide proposed projects directly to the Sarasota Manatee Airport Authority, Engineering and Environmental Affairs Office or our Properties Department. If you have any questions, please call me at 359.5009.

Sincerely,

Raymond L. White, AAE  
Manager, Engineering and Environmental Affairs

RLW/sam

Attachment

cc: R. Rossi, SMAA Properties Dept.

**NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION**

**§77.13 Construction or alteration requiring notice.**

(a) Except as provided in §77.15, each sponsor who proposes any of the following construction or alteration shall notify the Administrator in the form and manner prescribed in §77.17:

(1) Any construction or alteration of more than 200 feet in height above the ground level at its site.

(2) Any construction or alteration of greater height than an imaginary surface extending outward and upward at one of the following slopes:

- (i) 100 to 1 for a horizontal distance of 20,000 feet from the nearest point of the nearest runway of each airport specified in subparagraph (5) of this paragraph with at least one runway more than 3,200 feet in actual length, excluding heliports.
- (ii) 50 to 1 for a horizontal distance of 10,000 feet from the nearest point of the nearest runway of each airport specified in subparagraph (5) of this paragraph with its longest runway no more than 3,200 feet in actual length, excluding heliports.
- (iii) 25 to 1 for a horizontal distance of 5,000 feet from the nearest point of the nearest landing and takeoff area of each heliport specified in subparagraph (5) of this paragraph.

(3) Any highway, railroad, or other traverse way for mobile objects, of a height which, if adjusted upward 17 feet for an Interstate Highway that is part of the National System of Military and Interstate Highways where overcrossings are designed for a minimum of 17 feet vertical distance, 15 feet for any other public roadway, 10 feet or the height of the highest mobile object that would normally traverse the road, whichever is greater, for a private road, 23 feet for a railroad, and for a waterway or any other traverse way not previously mentioned, an amount equal to the height of the highest mobile object that would normally traverse it, would exceed a standard of subparagraph (1) or (2) of this paragraph.

(4) When requested by the FAA, any construction or alteration that would be in an instrument approach area (defined in the FAA standards governing instrument approach procedures) and available information indicates it might exceed a standard of Subpart C of this part.

(5) Any construction or alteration on any of the following airports (including heliports):  
 (i) An airport that is available for public use and is listed in the Airport Directory of the current Airman's Information Manual or in either the Alaska or Pacific Airman's Guide and Chart Supplement.

(ii) An airport under construction, that is the subject of a notice or proposal on file with the Federal Aviation Administration, and except for military airports, it is clearly indicated that that airport will be available for public use.

(iii) An airport that is operated by an armed force of the United States.

(b) Each sponsor who proposes construction or alteration that is the subject of a notice under paragraph (a) of this section and is advised by an FAA regional office that a supplemental notice is required shall submit that notice on a prescribed form to be received by the FAA regional office at least 48 hours before the start of the construction or alteration.

(c) Each sponsor who undertakes construction or alteration that is the subject of a notice under paragraph (a) of this section shall, within 5 days after that construction or alteration reaches its greatest height, submit a supplemental notice on a prescribed form to the FAA regional office having jurisdiction over the area involved, if—

- (1) The construction or alteration is more than 200 feet above the surface level of its site or
- (2) An FAA regional office advises him that submission of the form is required.

**§77.15 Construction or alteration not requiring notice.**

No person is required to notify the Administrator for any of the following construction or alteration:

(a) Any object that would be shielded by existing structures of a permanent and substantial character or by natural terrain or topographic features of equal or greater height, and would be located in the congested area of a city, town, or settlement where it is evident beyond all reasonable doubt that the structure so shielded will not adversely affect safety in air navigation.

(b) Any antenna structure of 20 feet or less in height except one that would increase the height of another antenna structure.

(c) Any air navigation facility, airport visual approach or landing aid, aircraft arresting device, or meteorological device, of a type approved by the Administrator, or an appropriate military service on military airports, the location and height of which is fixed by its functional purpose.

(d) Any construction or alteration for which notice is required by any other FAA regulation.

**§77.17 Form and time of notice.**

(a) Each person who is required to notify the Administrator under §77.13 (a) shall send one executed form set of FAA Form 7460-1, Notice of Proposed Construction or Alteration, to the Manager, Air Traffic Division, FAA Regional Office having jurisdiction over the area within which the construction or alteration will be located. Copies of FAA Form 7460-1 may be obtained from the headquarters of the Federal Aviation Administration and the regional offices.

(b) The notice required under §77.13 (a) (1) through (4) must be submitted at least 30 days before the earlier of the following dates—

(1) The date the proposed construction or alteration is to begin.

(2) The date an application for a construction permit is to be filed.

However, a notice relating to proposed construction or alteration that is subject to the licensing requirements of the Federal Communications Act may be sent to the FAA at the same time the application for construction is filed with the Federal Communications Commission, or at any time before that filing.

(c) A proposed structure or an alteration to an existing structure that exceeds 2,000 feet in height above the ground will be presumed to be a hazard to air navigation and to result in an inefficient utilization of airspace and the applicant has the burden of overcoming that presumption. Each notice submitted under the pertinent provisions of Part 77 proposing a structure in excess of 2,000 feet above ground, or an alteration that will make an existing structure exceed that height must contain a detailed showing directed to meeting this burden. Only in exceptional cases, where the FAA concludes that a clear and compelling showing has been made that it would not result in an inefficient utilization of the airspace and would not result in a hazard to air navigation, will a determination of no hazard be issued.

(d) In the case of an emergency involving essential public services, public health, or public safety, that requires immediate construction or alteration, the 30 day requirement in paragraph (b) of this section does not apply and the notice may be sent by telephone, telegraph, or other expeditious means, with an executed FAA Form 7460-1 submitted within five (5) days thereafter. Outside normal business hours, emergency notices by telephone or telegraph may be submitted to the nearest FAA Flight Service Station.

(e) Each person who is required to notify the Administrator by paragraph (b) or (c) of §77.13, or both, shall send an executed copy of FAA Form 7460-2, Notice of Actual Construction or Alteration, to the Manager, Air Traffic Division, FAA Regional Office having jurisdiction over the area involved.

**ADDRESSES OF THE REGIONAL OFFICES**

**Alaskan Region  
AK**

Alaskan Regional Office  
Air Traffic Division, AAL-530  
222 West 7th Avenue  
Anchorage, AK 99513  
Tel. 907-271-5893  
Mailing Address:  
Federal Aviation Administration  
Alaskan Regional Office  
Air Traffic Division, AAL-530  
222 West 7th Avenue, Box 14  
Anchorage, AK 99513-7587

**Central Region  
NE, IA, MO, KS**

Central Regional Office  
Air Traffic Division, ACE-530  
601 East 12th Street  
Kansas City, MO 64106  
Tel. 816-426-3408

**Eastern Region  
NY, PA, WV, VA, DC, MD, DE, NJ**

Eastern Regional Office  
Air Traffic Division, AEA-530  
JFK International Airport  
Fitzgerald Federal Building  
Jamaica, NY 11430  
Tel. 718-553-1228  
Fax: 718-553-1384

**Great Lakes Region  
ND, WI, MI, SD, IL, OH, MN, IN**

Great Lakes Regional Office  
Air Traffic Division, AGL-530  
2300 East Devon Avenue  
Des Plaines, IL 60018  
Tel. 708-294-7568

**New England Region  
MA, NH, VT, RI, CT, ME**

New England Regional Office  
Air Traffic Division, ANE-530  
12 New England Executive Park  
Burlington, MA 01802-5200

**Northwest Mountain Region  
WA, OR, MT, ID, WY, UT, CO**

Northwest Mountain Regional Office  
Air Traffic Division, ANM-530  
1601 Lind Avenue, SW  
Renton, WA 98055-4056  
Tel. 206-227-2530  
Fax: 206-227-1530

**Southern Region  
KY, TN, NC, SC, GA, AL,  
MS, FL, VI, PR**

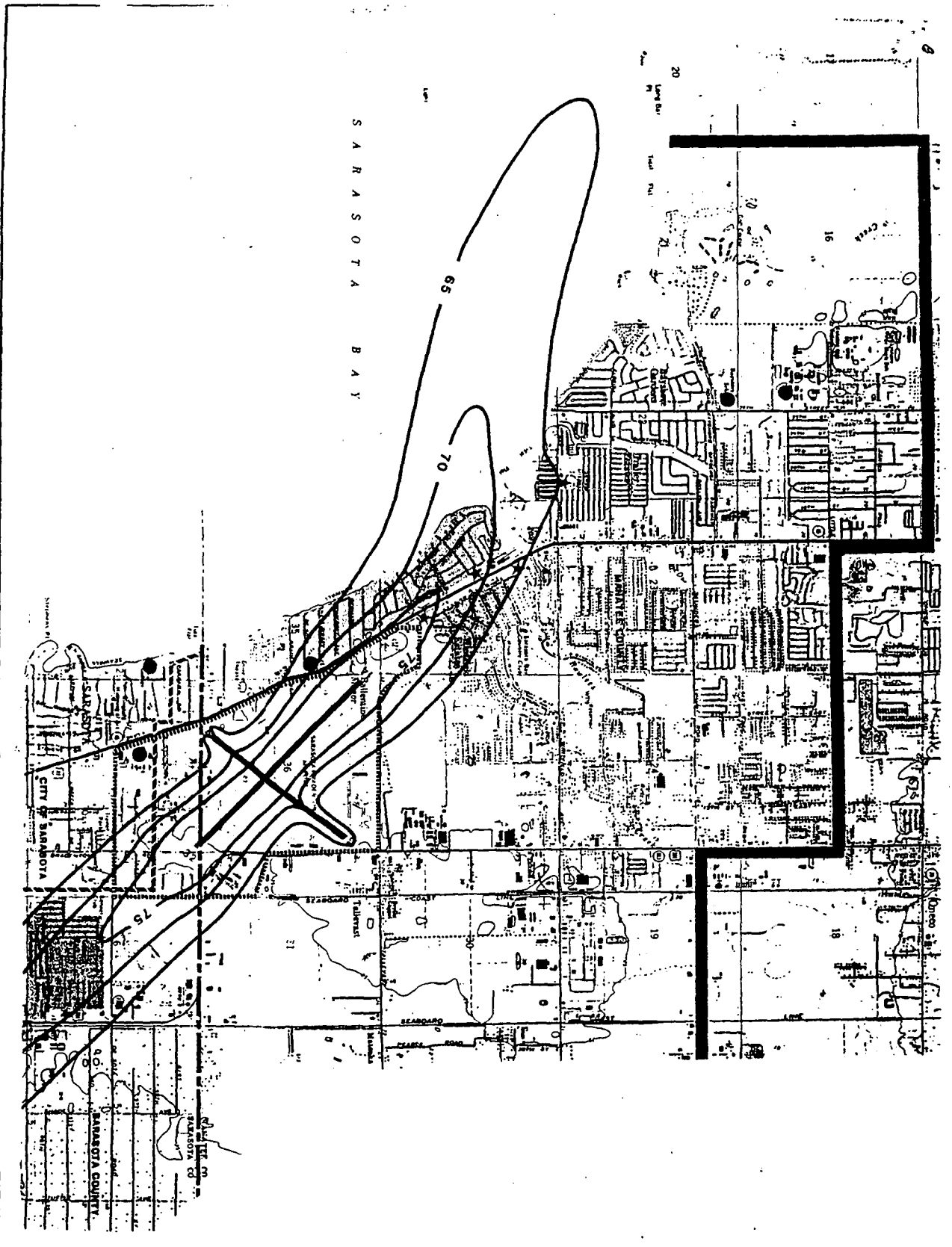
Southern Regional Office  
Air Traffic Division, ASO-530  
1710 Columbia Avenue  
College Park, GA 30337  
Tel. 404-305-5585  
Mail Address:  
Federal Aviation Administration  
Southern Regional Office  
Air Traffic Division, ASO-530  
P.O. Box 20636  
Atlanta, GA 30320

**Southwest Region  
NM, TX, OK, AR, LA**

Southwest Regional Office  
Air Traffic Division, ASW-530  
2601 Meacham Blvd.  
Fort Worth, TX 76137-4298  
Tel. 817-222-5531  
Mail Address:  
Department of Transportation  
Federal Aviation Administration  
Fort Worth, TX 76193-0530

**Western Pacific Region  
HI, CA, NV, AZ, GU**

Western-Pacific Regional Office  
Air Traffic Division, AWP-530  
15000 Aviation Boulevard  
Hawthorne, CA 90260  
Tel. 310-297-1182  
Mail Address:  
AWP-530 65  
P.O. Box 92007  
Worldway Postal Center  
Los Angeles, CA 90009



**UNINCORPORATED  
MANATEE COUNTY  
COMPREHENSIVE PLAN**

map 6-G  
**FAA  
 ADOPTED OR ACCEPT  
 NOISE EXPOSURE MAP  
 SARASOTA-BRADENTON  
 AIRPORT (1993)**

- LEGEND**
- 65 LBN NOISE CONTOUR
  - 70 LBN NOISE CONTOUR
  - 75 LBN NOISE CONTOUR
  - 80 LBN NOISE CONTOUR
  - 85 LBN NOISE CONTOUR
  - 90 LBN NOISE CONTOUR
  - 95 LBN NOISE CONTOUR
  - 100 LBN NOISE CONTOUR
  - 105 LBN NOISE CONTOUR
  - 110 LBN NOISE CONTOUR
  - 115 LBN NOISE CONTOUR
  - 120 LBN NOISE CONTOUR
  - SCHOOLS
  - CHURCHES
  - REGULATED LAND USE WITHIN 80' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 100' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 150' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 200' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 250' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 300' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 350' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 400' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 450' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 500' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 550' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 600' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 650' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 700' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 750' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 800' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 850' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 900' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 950' OF THE AIRPORT
  - REGULATED LAND USE WITHIN 1000' OF THE AIRPORT

**NOTE:** Areas within 65 LBN noise contour represent the largest Overlay District Sarasota-Bradenton Airport

**SOURCE:** SARASOTA-BRADE  
 AIRPORT AUTHORITY, AUGUST,

0 5400' 10,800' 21,600'

**NOR**

Florida Land Design & Engineering

NOVEMBER 15, 2000

TO: BILL OSHEA  
ENVIRONMENTAL MANAGEMENT DEPT.

PLANNING  
NOV 21 2000  
DEPARTMENT

FROM: JOHN HENSLICK  
HENSLICK, SEAGLE & ASSOCIATES, INC.

RE: RESPONSE TO THE DEVELOPMENT REVIEW COMMENTS: RINGLING  
CENTER FOR INDUSTRY PDI-00-02 (Z)(P)

Comments:

Natural Resources:

- Land Cover/Wetland Characterization information required pursuant to Section 508 of the LDC should be submitted to the EMD.

**RESPONSE:**

Please see the attached "Environmental Review As Per Manatee County Criteria for the Ringling Center For Industry" and the aerial habitat map.

- This project is located adjacent to an unnamed drainage ditch. Ditches that are dredged through areas of historical hydric soils or that have a cross-sectional area greater than 35 square feet at the point of connection to other surface waters are subject to Manatee County Wetland Protection Policies. In this particular case, wetland buffers appear to be required.

Top of bank should be labeled as the jurisdictional limits. A thirty foot wetland buffer should be delineated/labeled on the site plan.

**RESPONSE:**

Please see the revised site plan which shows a 30 foot buffer from the off-site "wetland". The buffer was measured from the SHW limits of the "wetland" or from the "wetland line".

- This project appears to fall within the Coastal Planning Area. The Applicant should demonstrate compliance with the following Comp. Plan Policies:  
Policy 4.1.2.1 requires developments within the Coastal Planning Area to preserve representative tracts of native upland communities.

HENSLICK, SEAGLE & ASSOCIATES, INC.

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ENVIRONMENTAL CONSULTANTS

Policy 4.1.2.3 requires the removal of exotic plant species from land developments within the Coastal Planning Area.

**RESPONSE:**

Please see the enclosed "Environmental Review As Per Manatee County Criteria for the Ringling Center For Industry", and the enclosed aerial habitat map. As shown on the habitat map and as discussed in the "Environmental Review", the entire site consists of severely altered lands, and contains no "native upland communities" which can be preserved.

The Applicant agrees to remove all exotic and nuisance vegetative species from the development area.

If you have any questions or if any additional information is required please do not hesitate to contact me.

ENVIRONMENTAL REVIEW  
AS PER  
MANATEE COUNTY CRITERIA  
FOR THE  
RINGLING CENTER FOR INDUSTRY

508.3.3 Preliminary Site Plan Requirements:

2. *Land Cover/Wetland Characterization.*

a. General characterization of the wetlands on site; such characterization shall include classification of the wetland type in accordance with the Florida Land Use, Cover and Forms Classification System, identification of the dominant vegetative species, description of zonation, estimate area, type and degree of historic disturbance, observed water level and /or historic water level indicators and wildlife or evidence of wildlife utilizing the wetland.

**RESPONSE:**

The site contains no area classified as "wetland" by the SWFWMD. However, abutting the west boundary of the site is a man-made ditch, dug through upland soils, whose connection to "Waters-of-the-State" is greater than 35 square feet. The wetland limits of this ditch are located at the toe of slope of the ditch. This ditch exhibits minimal emergent vegetation, but does contain some *Polygonum* spp., *Eleocharis* spp., *Panicum* spp. and various sedges. This man-made ditch is classified as "Waterways" (#510) in the Florida Land Use, Cover and Forms Classification System.

b. Identification of the upland habitats onsite and within 500 feet of the site, with reference to The Florida Land Use, Cover and Forms Classification System.

**RESPONSE:**

Please see the enclosed aerial photograph (Habitat Map) of the site and adjacent areas. The entire project area is classified as "Open Land" (#190), in the Florida Land Use, Cover and Forms Classification System. The site has been severely altered from its native state by past clearing and filling activities. Currently the site exhibits a ground cover dominated by

Elephant Grass, with areas cleared due to off-road vehicle use. Some slash pines, Live Oaks and a few Cabbage Palms are located on the site, however, the condition of these vegetated areas and their size does not allow them to be considered as "native habitats" or "native upland communities".

c. Existing and proposed onsite conservation areas and adjacent offsite conservation areas, if any.

**RESPONSE:**

The only proposed on-site conservation area is the 30 buffer proposed from the wetland limits of the man-made ditch located outside the western property boundary. This buffer area is currently and will continue to be utilized as a maintenance access for the ditch.

d. An inventory of all protected species observed utilizing or expected to utilize the wetland habitat proposed for alteration. Such inventory may be developed utilizing procedures outline in Section 721: Habitat and Endangered Species Protection, or other methodology acceptable to Manatee County.

**RESPONSE:**

As the site contains no wetland habitats, no such species were observed or anticipated to utilize the project area.

Some migratory waterfowl, including listed species, may utilize the man-made ditch on the western boundary. However, the Applicant proposes a 30 buffer adjacent to the ditch, no adverse impacts to this habitat or its utilization by wildlife is anticipated.

e. Detailed description of any proposed activity within the wetland and buffer or set back areas.

**RESPONSE:**

No proposed activities are proposed within the 30 foot buffer adjacent to the ditch (other than the placement of the outfall structure from the proposed lake). The area is currently used as a maintenance access for the ditch and will continue in this use.



HENSLICK, SEAGLE & ASSOCIATES, INC.

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ENVIRONMENTAL CONSULTANTS

f. A statement of project design alternative considered to eliminate or reduce impacts to the subject wetland(s).

**RESPONSE:**

No wetland impacts are proposed as a result of this project, other than the placement of the outfall structure from the proposed lake to the existing ditch.



- #110 Residential
- #510 Waterway
- #520 Lake
- #190 Open Land
- #411 Pine Flatwoods
- #434 Hardwood-Conifer Mixed
- #140 Commercial
- #810 Transportation

Henslick, Seagle & Associates  
 1748 Independence Blvd., Suite E-7  
 Sarasota, Florida 34234  
 (941) 351-7728

Ringling Center for Industry  
 Habitat Map  
 (1999 Aerial Photograph)  
 Scale: 1 inch = 200 feet





**CYRIX ENGINEERING, INC.**

Engineers & Surveyors  
5887 Whitfield Avenue  
Sarasota, Fla 34243



Mar 08, 2001

Mr. Aristotle Shinas  
Planning Department  
Plan Implementation Section  
Manatee County Government  
P.O. Box 1000  
Bradenton, Fl 34206-1000

Re: Ringling Centre for Industry, PDI-00-03(Z)(P)

Dear Aristotle

The applicant has no objection to the stipulations as stated in the Planning Department's Staff report at this time. If there are any future objections to the stipulations they will be addressed at or before the County Commissioner's meeting on 28 Mar 2001.

If there are any questions or comments, please feel free to contact our office.

Sincerely,

J. Mark Privette, P.E.  
Project Engineer

phone - (941) 358-8812

fax - (941) 358-8909

ZONING DISCLOSURE AFFIDAVIT

File Number \_\_\_\_\_

File Name \_\_\_\_\_

The Manatee County Land Development Code 90-01 as amended under Ordinance 91-29 requires that all applications for Zoning Atlas Amendments shall include public disclosure of applicants and their percentage of interest.

If the property is owner by a CORPORATION, list the principal officers and principal stockholders and the percentage of stock owned by each

If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with percentage of interest.

If the property is in the name of a PARTNERSHIP or LIMITED PARTNERSHIP, list the name of the principals below, including general and limited partners.

If there is a CONTRACT FOR PURCHASE, whether contingent on this application or not, and whether a Corporation, Trustee, or Partnership, list the names of the contract purchasers below, including the principal officers, stockholders, beneficiaries, or partners. If any contingency clause or contract terms involve additional parties list all individuals or officers, if a corporation, partnership, or trust. This is in addition to the list of owners.

FOR ANY CHANGES OF OWNERSHIP OR CHANGES IN CONTRACTS FOR PURCHASE SUBSEQUENT TO THE DATE OF THE APPLICATION, BUT PRIOR TO THE DATE OF FINAL PUBLIC HEARING, A SUPPLEMENTAL DISCLOSURE OF INTEREST SHALL BE FILED.

Disclosure shall not be required of any entity whose interests are solely equity interest which are regularly traded on an established securities market in the United State or another country.

NAME, ADDRESS AND OFFICER

PERCENTAGE STOCK, INTEREST OR OWNERSHIP

Check if owner (X) or contract purchaser ( )

Albion L.C. Trustee  
1634 MAIN ST.  
SARASOTA FLA.

100%  
Mark P. Famiglio

Under penalties of perjury, I declare that I have read the foregoing affidavit and that the facts stated in it are true.

Signature: Mark P. Famiglio

(Applicant): \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF Sarasota

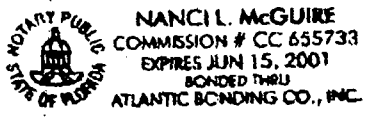
The foregoing instrument was sworn to (or affirmed) and subscribed before me this 12<sup>TH</sup> day of Sept 2000 by Mark P. Famiglio who is personally known to me or who has produced \_\_\_\_\_ as identification. (type of identification)

Nanci L. McGuire  
Notary Signature

Nanci L. McGuire  
Print or type name of Notary

My Commission Expires: 6-15-01

Commission No.: \_\_\_\_\_  
Revised 4-26-99



Title or Rank

**Board/PDC-99-09  
NOTICE OF ZONING  
CHANGES IN  
UNINCORPORATED  
MANATEE COUNTY**

**NOTICE IS HEREBY GIVEN**, that the Board of County Commissioners of Manatee County will conduct a Public Hearing on **Wednesday, March 27, 2001, at 9:00 A.M. at the Manatee County Government Administrative Center, 1st Floor Chambers**, to consider and act upon, on the following matters:

**PDC-99-09(P)(R)-WHISENANT FARMS, INC./LOT 5, ELLENTON MINI STORAGE AND CAR WASH-**

Approval of a Revised Preliminary Site Plan allowing modifications to the stormwater designs and Stipulation #16 regarding stormwater. Located at the northwest corner of U.S. 301 and Ellenton Gillette Road, within Ellenton Commercial subdivision on Lot 5 (+- 4.57 acres).

**PDMU-98-01(G)(R2)-COOPER CREEK CENTER**

An amendment to the approved Zoning Ordinance to: 1) modify Stipulation P.(4) to change the minimum lot widths and side yard setbacks for single-family residential lots; 2) add Stipulations M. (5) and M. (6) to require additional recreational open space for the project; and 3) modify Stipulation P. (14) to allow limited parking in the easement for Parcel 1 (Office Park). Cooper Creek Center is located at the northwest corner of the University Parkway and I-75 interchange (+- 604.68 acres).

**Z-00-08- MATOAKA DEVELOPMENT CORP.**

Approval of a Zoning Ordinance of the County of Manatee, Florida, amending the Official Zoning Atlas of Manatee County, (Ordinance 90-01, the Manatee County Land Development Code) relating to zoning within the unincorporated area of Manatee County; providing for the rezoning of certain land from A-1/WP-E/ST (Suburban Agriculture, 1 dwelling unit per acre/Watershed Protection-Evers and Special Treatment Overlay Districts) to RSF-4.5/WP-E/ST (Residential Single Family, 4.5 dwelling units per acre/Watershed Protection-Evers and Special Treatment Overlay Districts) for Lots 1 thru 6 of Block D in the Matoaka Heights Subdivision, and providing for an effective date. Located on the west side of Tuttle Avenue, approximately 530 feet north of 75th Terrace East (+- 0.76 acres).

**IF APPROVED**, the applicant may develop the property with single-family lots at 4.5 units per acre. Other residential support uses may be permitted. The current zoning allows for suburban agricultural uses on 1 acre lots.

**PDC-00-11(Z)(P)- UNIVERSITY PARK CENTER-** Approval of (1) a Zoning Ordinance of the County of Manatee, Florida, amending the Official Zoning Atlas of Manatee County (Ordinance 90-01, the Manatee County Land Development Code) relating to zoning within the unincorporated area of Manatee County; providing for the rezoning of certain land from PDMU/WP-E/ST (Planned Development Mixed Use/Watershed Protection-Evers/Special Treatment Overlay Districts) to PDC/WP-E/ST (Planned Development Commercial/Watershed Protection-Evers/Special Treatment Overlay Districts); providing an effective date; and (2) a Preliminary Site Plan to allow a 223,000 square foot shopping center and 6 outparcels. The project is located north of University Parkway on both sides of Honore Avenue (+-34.52 acres).

**PDI-00-01(Z)(P)- RINGLING CENTER FOR INDUSTRY/ALDINA, L.C.-**

Approval of (1) a Zoning Ordinance of the County of Manatee, Florida, amending the official Zoning Atlas of Manatee County (Ordinance 90-01, the Manatee County Land Development Code) relating to zoning within the unincorporated area of Manatee County; providing for the rezoning of certain land from A-1/WR/A1 (Suburban Agricultural, 1 dwelling unit per acre/Whitfield Residential/Airport Impact Overlay Districts) to PDI/WR/A1 (Planned Development Industrial/Whitfield Residential/Airport Impact Overlay Districts); and (2) a Preliminary Site Plan allowing 174,780 sq. ft. of warehouse and 22,500 sq. ft. of office uses. Located on the south side of Tallevast Road, 2,000 feet east of U.S. 41, and immediately north of the Sarasota-Bradenton Airport. (+9.19 acres).

**Z-01-02-CFI MANUFACTURING, INC.**

Approval of a Zoning Ordinance of the County of Manatee, Florida, amending the official Zoning Atlas of Manatee County (Ordinance 90-01, the Manatee County Land Development Code) relating to zoning within the unincorporated area of Manatee County; providing for the rezoning of certain land from A-1 (Suburban Agricultural, 1 dwelling unit per acre) to

**COPY OF NEWSPAPER ADVERTISING**

**HM** (Heavy Manufacturing); providing an effective date; Located on the south side of Whitfield Avenue, approximately 1,200 feet west of US 301 at the southeast corner of Whitfield Avenue and 21st Street East (+-0.84 acres).

**IF APPROVED**, the HM (Heavy Manufacturing) zoning district permits uses such as Agricultural Research Facilities, Wholesale Trade Establishment, Heavy Manufacturing, Tree Farms, Outdoor Advertising Signs, Dry Cleaners, and Offices.

All interested parties are invited to appear at this Hearing and be heard, subject to proper rules of conduct. Additionally, any written comments filed with the Director of the Planning Department will be heard and considered by the Board of County Commission and entered into the record.

Interested parties may examine the proposed Ordinances, Official Zoning Atlas, the application and related documents and may obtain assistance regarding this matter from the Manatee County Planning Department, 1112 Manatee Avenue West, 4th Floor Bradenton, Florida, telephone number (941) 749-3070, e-mail to: [planning.agenda@co.manatee.fl.us](mailto:planning.agenda@co.manatee.fl.us).

According to the Florida Statutes, Section 286.0105, any person desiring to appeal any decision made by the Board of County Commissioners will respect to any matter considered at said Public Hearing will need a record of the proceedings, and for such purposes he may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon

which the appeal is to be based.

**Americans With Disabilities:** The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Rita Draluz at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

**SAID HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS. MANATEE COUNTY BOARD OF COUNTY COMMISSIONERS**  
Manatee County Planning Department, Manatee County, Florida  
3/16/01

**NOTICE OF ESTABLISHMENT OR CHANGE OF A REGULATION AFFECTING THE USE OF LAND IN UNINCORPORATED MANATEE COUNTY**

**NOTICE IS HEREBY GIVEN**, that the Board of County Commissioners of Manatee County will conduct a Public Hearing on **Tuesday, March 27, 2001, at 9:00 A.M. at the Manatee County Government Administrative Center, 1112 Manatee Avenue West, 1st Floor Chambers**, to consider and act upon the following matters:

**PDC-09(PXR) - WHISENANT FARMS, INC./LOT 5 ELLENTON MINI STORAGE AND CAR WASH**

Approval of a Revised Primary Site Plan allowing modifications to the stormwater designs and Stipulations #16 regarding stormwater. Located at the northwest corner of U.S. 301 and Ellenton Gillette Road, within Ellenton Commercial Subdivision on Lot 5 (+- 4.57 acres).

**PDMU-96-01(G)(R2) - COOPER CREEK CENTER**

An amendment to the approved Zoning Ordinance to: 1) modify Stipulation P.(4) to change the minimum lot widths and side yard setbacks for single-family residential lots; 2) add Stipulations M. (5) and M. (6) to require additional recreational open space for the project; and 3) modify Stipulation P. (14) to allow limited parking in the FP&L easement for Parcel 1 (Office Park). Cooper Creek Center is located at the northwest corner of the University Parkway and I-75 interchange (+- 604.68 acres).

**Z-00-08 - MATOAKA DEVELOPMENT CORP.**

Approval of a Zoning Ordinance of the County of Manatee, Florida, amending the Official Zoning Atlas of Manatee County (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area of Manatee County; providing for the rezoning of certain land from A-1/WP-E/ST (Suburban Agriculture, 1 dwelling unit per acre/Watershed Protection-Evers and Special Treatment Overlay Districts) to RSF-4.5/WP-E/ST (Residential Single-Family, 4.5 dwelling units per acre/Watershed Protection-Evers and Special Treatment Overlay Districts) for Lots 1 thru 6 of Block D in the Matoaka Heights Subdivision; and providing for an effective date. Located on the west side of Tuttle Avenue, approximately 530 feet north of 75th Terrace East (+- 0.76 acre).

**IF APPROVED**, the applicant may develop the property with single-family lots at 4.5 units per acre. Other residential support uses may be permitted. The current zoning allows for suburban agricultural uses.

**PDC-00-11(Z)(P)- UNIVERSITY PARK CENTER**

Approval of (1) Zoning Ordinance of the County of Manatee, Florida, amending the Official Zoning Atlas of Manatee County (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area of Manatee County; providing for the rezoning of certain land from PDMU/WP-E/ST (Planned Development Mixed Use/Watershed Protection - Evers/Special Treatment Overlay Districts (to PDC/WP-E/ST (Planned Development Commercial/Watershed Protection - Evers/Special Treatment Overlay Districts); providing for an effective date; and (2) a Preliminary Site Plan to allow a 223,000 square foot shopping center and 6 outparcels. The project is located north of University Parkway on both sides of Honore Avenue (+-34.52 acres).

**PDI-00-01(Z)(P) - RINGLING CENTER FOR INDUSTRY/ALDINA, L.C.**

Approval of a Zoning Ordinance of the County of Manatee, Florida, amending the Official Zoning Atlas of Manatee County (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area of Manatee County; providing for the rezoning of certain land from A-1/WR/A1 (Suburban Agricultural, 1 dwelling unit per acre/Whitfield Residential/Airport Impact Districts) to PDI/WR/A1 (Planned Development Industrial/Whitfield Residential/Airport Impact Overlay Districts); and (2) a Preliminary Site Plan allowing 174,780 sq. ft. of warehouse and 22,500 sq. ft. of office uses. Located on the south side of Tallevast Road, 2,000 feet east of U.S. 41, and immediately north of the Sarasota-Bradenton Airport. (+9.19 acres).

**Z-01-02 - CFI MANUFACTURING, INC.**

Approval of a Zoning Ordinance of the County of Manatee, Florida, amending the Official Zoning Atlas of Manatee County (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area of Manatee County; providing for the rezoning of certain land from A-1 (Suburban Agricultural, 1 dwelling unit per acre) to HM (Heavy Manufacturing); providing for an effective date; Located on the south side of Whitfield Avenue, approximately 1,200 feet west of US 301 at the southeast corner of Whitfield Avenue and 21st Street East (+- 0.84 acres).

**IF APPROVED**, the HM (Heavy Manufacturing) zoning district permits uses such as Agricultural Research Facilities, Wholesale Trade Establishment, Heavy Manufacturing, Tree Farms, Outdoor Advertising Signs, Dry Cleaners, and Offices.

All interested parties are invited to appear at this Hearing and be heard, subject to proper rules of conduct. Additionally, any written comments filed with the Director of the Planning Department will be heard and considered by the Board of County Commission, and entered into the record.

Interested parties may examine the proposed Ordinances, Official Zoning Atlas, the application and related documents and may obtain assistance regarding this matter from the Manatee County Planning Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida; telephone number (941) 749-3070; e-mail to: [planning.agenda@co.manatee.fl.us](mailto:planning.agenda@co.manatee.fl.us).

According to Florida Statutes, Section 286.0105, any person desiring to appeal any decision made by the Board of County Commissioners with respect to any matter considered at said Public Hearing will need a record of the proceedings, and for such purposes he may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based.

**Americans With Disabilities:** The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Rita Draluz at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790. **SAID HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS. MANATEE COUNTY PLANNING BOARD OF COUNTY COMMISSIONERS**  
Manatee County Planning Department  
Manatee County, Florida  
Publication Date: March 16, 2001

**BRADENTON HERALD**

affidavit \_\_\_\_\_ bill \_\_\_\_\_

**SARASOTA HERALD-TRIBUNE**

affidavit \_\_\_\_\_ bill \_\_\_\_\_

# FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME FIRST NAME MIDDLE NAME McClash Joe	NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE Manatee County Board of County Commissioners
MAILING ADDRESS P. O. Box 1000	THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF: <input type="checkbox"/> CITY <input checked="" type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY
CITY COUNTY Bradenton Manatee	NAME OF POLITICAL SUBDIVISION:
DATE ON WHICH VOTE OCCURRED 3/27/01	MY POSITION IS: <input checked="" type="checkbox"/> ELECTIVE <input type="checkbox"/> APPOINTIVE

## WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies equally to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing the reverse side and filing the form.

## INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

### ELECTED OFFICERS:

A person holding elective county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which inures to his special private gain. Each local officer also is prohibited from knowingly voting on a measure which inures to the special gain of a principal (other than a government agency) by whom he is retained.

In either case, you should disclose the conflict:

**PRIOR TO THE VOTE BEING TAKEN** by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; *and*

**WITHIN 15 DAYS AFTER THE VOTE OCCURS** by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

### APPOINTED OFFICERS:

A person holding appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which inures to his special private gain. Each local officer also is prohibited from knowingly voting on a measure which inures to the special gain of a principal (other than a government agency) by whom he is retained.

A person holding an appointive local office otherwise may participate in a matter in which he has a conflict of interest, but must disclose the nature of the conflict before making any attempt to influence the decision by oral or written communication, whether made by the officer or at his direction.

**IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:**

- You should complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes.
- A copy of the form should be provided immediately to the other members of the agency.
- The form should be read publicly at the meeting prior to consideration of the matter in which you have a conflict of interest.

**IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:**

- You should disclose orally the nature of your conflict in the measure before participating.
- You should complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

**DISCLOSURE OF LOCAL OFFICER'S INTEREST**

I, Joe McClash, hereby disclose that on March 27, 2001, 19  :

(a) A measure came or will come before my agency which (check one)

inured to my special private gain; or

inured to the special gain of \_\_\_\_\_, by whom I am retained.

(b) The measure before my agency and the nature of my interest in the measure is as follows:

McClash Heating & Cooling, Inc., a company I own 100% of stock, does business with Aldina.

Due to this relationship, I abstained from voting on this item.

Agenda 3/27/01

Page 4

Ordinance 01-22 authorizing expenditure of County funds for the Neighborhood Enhancement Grant Program; execution of letter to municipalities

43. **PDI-00-01(Z)(P) - RINGLING CENTER FOR INDUSTRY/ ALDINA, L.C.**

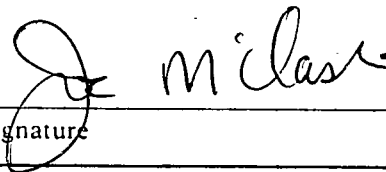
(Aris Shinas, Principal Planner)

Approval of (1) a rezone from **A-1/WR/AI (Suburban Agricultural, 1 dwelling unit per acre/Whitfield Residential/Airport Impact Overlay Districts)** to **PDI/WR/AI (Planned Development Industrial/Whitfield Residential/Airport Impact Overlay Districts)**; and (2) a **Preliminary Site Plan allowing 174,780 sq. ft. of warehouse and 22,500 sq. ft. of office uses**. Located on the south side of Tallevast Road, 2,000 feet east of U.S. 41, and immediately north of the Sarasota-Bradenton Airport. (±9.19 acres).

3/27/01

Date Filed

Signature

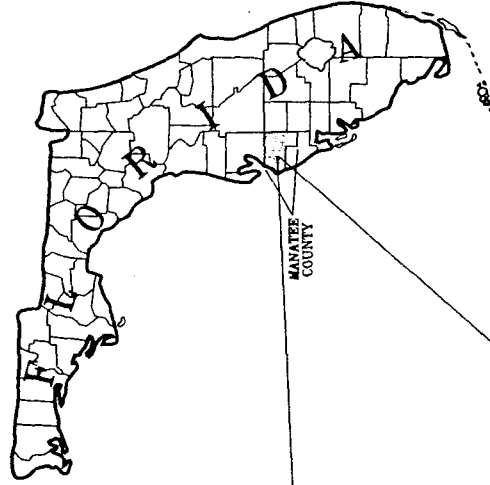


FILED FOR RECORD  
MAR 26 12 15 PM '01  
CLERK  
COUNTY  
MAN

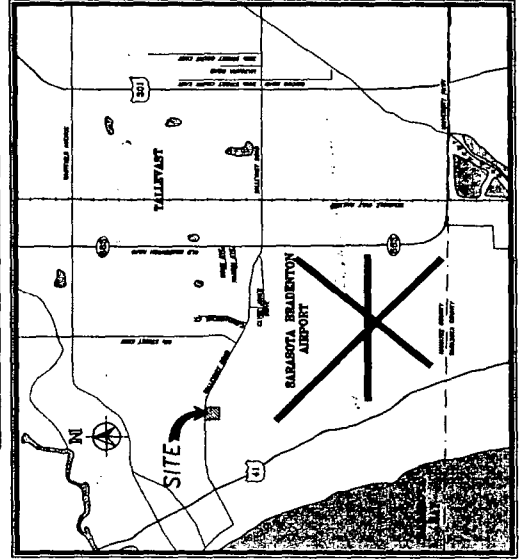
NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317 (1985), A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$5,000.

# RINGLING CENTRE FOR INDUSTRY PRELIMINARY SITE PLAN

FBI-00-01 (E)(P)



SITE LOCATION MAP



**INDEX TO SHEETS**

1. COVER
2. SITE PLAN: EXISTING CONDITIONS
3. SITE PLAN LAYOUT
4. SITE PLAN: HORIZONTAL CONTROL
5. SITE PLAN: DRAINAGE AND UTILITIES
6. SITE PLAN: LANDSCAPING AND SCREENING
7. PAVEMENT AND DRAINAGE DETAILS
8. STORMWATER DETAILS
9. WATER AND SANITARY DETAILS
10. GENERAL DETAILS LIFT STATION

PRELIMINARY SITE PLAN APPROVAL CASE NAME: RINGLING CENTRE FOR INDUSTRY

APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_ FILE NUMBER: \_\_\_\_\_

PLANNING DEPARTMENT: \_\_\_\_\_

CASE PLANNER: \_\_\_\_\_ ATTENTION: A COPY OF THIS APPROVAL LETTER MUST BE SUBMITTED WITH YOUR APPLICATION FOR A BUILDING PERMIT.

CONDUCTOR: \_\_\_\_\_ ENVIRONMENTAL MANAGER: \_\_\_\_\_

WHITE C. HEALTH: \_\_\_\_\_ FIRE DISTRICT: \_\_\_\_\_

OWNER/AGENT: \_\_\_\_\_

**ENGINEER'S CERTIFICATION OF COMPLIANCE**

I, the undersigned, being a duly licensed Professional Engineer in the State of Florida, hereby certify that the above described project complies with the provisions of the Manual of Land Use Planning and Zoning Ordinance, Chapter 253.07(5) and (6), Florida Statutes.

DATE: MAR 09 1991 SEAL: \_\_\_\_\_

\_\_\_\_\_  
 T. BOB PUGH  
 T. BOB PUGH P.E.

**CYRIX ENGINEERING, INC.**  
 Engineers & Surveyors  
 5887 Whitfield Avenue  
 Sarasota, Fla 34243

(941) 358-8812 (ph) • (941) 358-8909 (fax)

SEC. 32, TWP. 35S, RNG. 18E.



EXISTING CONDITIONS

RINGLING CENTRE FOR INDUSTRY

SEAL:

DATE: MAR 19 2009  
PROJECT NO. 02878  
DRAWN BY: J.M.  
CHECKED BY: M.F.  
DATE: 11.07.09

Table with columns: REVISIONS, DATE, BY

CRUX ENGINEERING, INC.  
Engineers & Surveyors  
5827 Whitefield Avenue  
Sarasota, Fla 34243  
(941) 358-8812 (ph) \* (941) 358-8909 (fax)

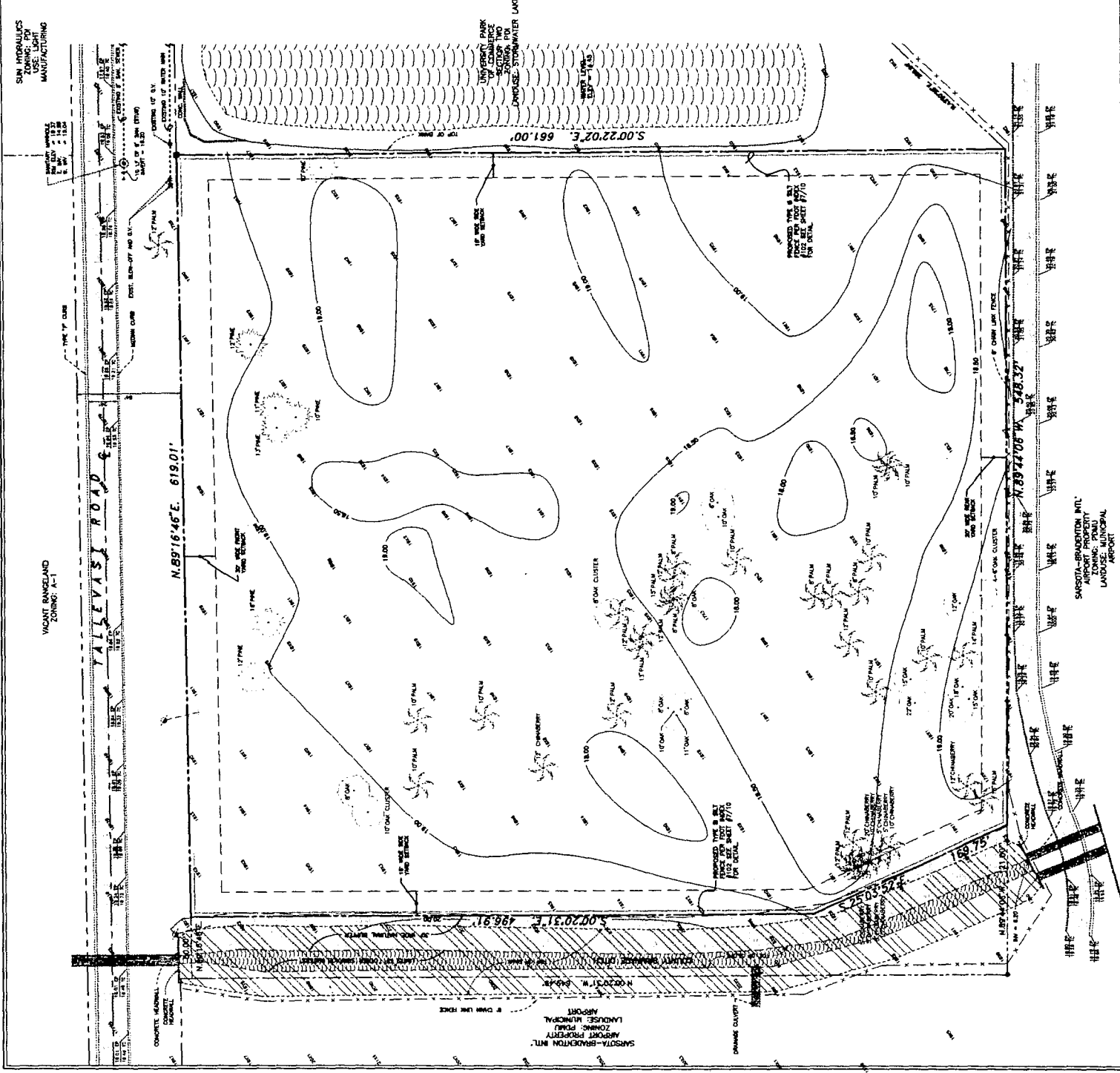


LEGEND table listing symbols for: EXISTING PROPERTY LINE, EXISTING DATE OF PAVEMENT/CURB, EXISTING PROPERTY CORNER, EXISTING LOT LINE, EXISTING CONCOURSE LINE, EXISTING POWER POLE & OUT WIRE, EXISTING TRUNKLINE DITCH, EXISTING CHAIN LINK FENCE, EXISTING BATTERY LINE, MARKERS AND STUB, EXISTING WATER MAIN / SAN-OFF & CATCH VALE, EXISTING SANITARY DRAIN, EXISTING ASPHALT PAVEMENT, EXISTING STONE WALL

EXISTING SITE CONDITIONS  
THE DEVELOPMENT WITH AN AREA OF 8.14 ACRES... THE EXISTING ZONING AND LAND USES SHALL BE AS INDICATED IN THIS SHEET... ALL EXISTING UTILITIES ARE TO BE MAINTAINED AND PROTECTED... THERE ARE NO DESIGNATED PUBLIC USE AREAS WITHIN OR ADJACENT TO THE SITE.

BASIC INFORMATION  
THE SITE IS 34'-0" WIDE AND BARRICADED AS SHOWN ON SHEET #1/10... ALL UTILITIES ARE 18" MIN. AND 12" MAX. IN DIAMETER... THE DATE, NORTH ARROW, SCALE AND LEGEND ARE AS SHOWN ON THIS SHEET... A NORTH ARROW WITH A SCALE OF NOT LESS THAN 1"=1 MILE IS PROVIDED ON SHEET #1/10 (COVER SHEET)... STAMPED SIGN-OFF BLOCK IS PROVIDED ON SHEET #1/10 (COVER SHEET).

PROPERTY DESCRIPTION  
DESCRIPTION: A PORTION OF LAND LIES IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SECTION 25, TOWNSHIP 30 SOUTH, RANGE 17 WEST, MANATEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE INTERSECTION OF THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SECTION 25, TOWNSHIP 30 SOUTH, RANGE 17 WEST, MANATEE COUNTY, FLORIDA, WITH THE EAST LINE OF THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SECTION 25, TOWNSHIP 30 SOUTH, RANGE 17 WEST, MANATEE COUNTY, FLORIDA, AND PROCEED EAST ALONG SAID EAST LINE OF THE SOUTHWEST 1/4 OF THE SECTION 25, TOWNSHIP 30 SOUTH, RANGE 17 WEST, MANATEE COUNTY, FLORIDA, TO THE POINT OF BEGINNING... (CONTAINS 0.18 ACRES MORE OR LESS.)





**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING COSE OF IMPROVEMENTS
- EXISTING BOUNDARY CENTERLINE
- EXISTING LOT LINE
- EXISTING POWER POLE & SERVICE
- EXISTING DRAINAGE DITCH
- EXISTING STORM SEWER
- EXISTING CHALK LINE FENCE
- EXISTING UTILITY TRENCH
- EXISTING ASPHALT PAVEMENT
- EXISTING ASPHALT DRIVEWAY
- PROPOSED BALUNO OUTLINE
- PROPOSED SEWER
- PROPOSED WELLS STOP

**REQUIRED IMPROVEMENTS**

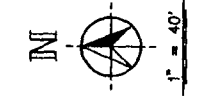
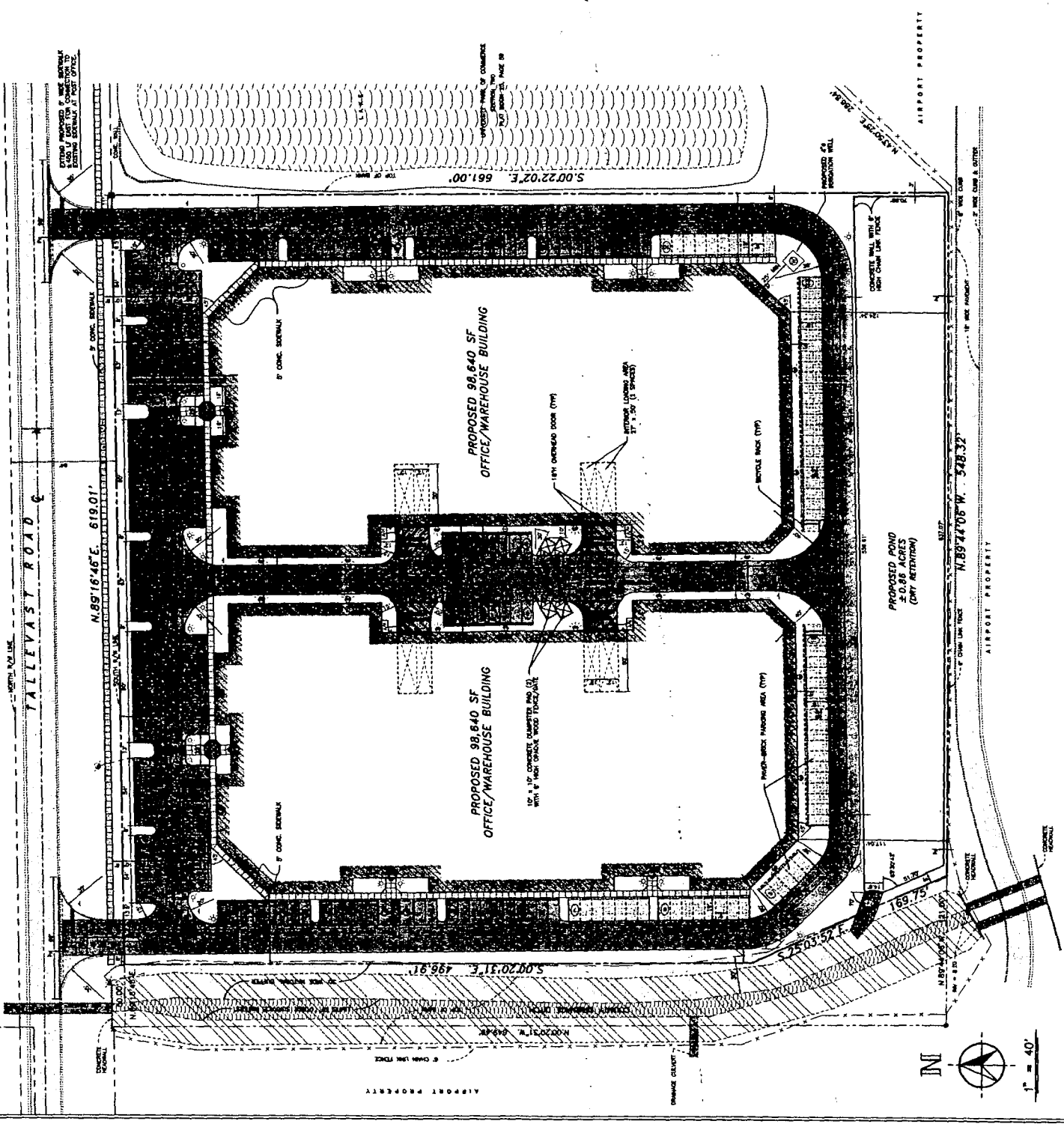
THESE IMPROVEMENTS ARE SHOWN FOR THE PROPOSED BUILDING AND ARE SHOWN ON SHEET 84-13334 AND 84-13335. THE IMPROVEMENTS ARE SHOWN FOR THE PROPOSED BUILDING AND ARE SHOWN ON SHEET 84-13334 AND 84-13335. THE IMPROVEMENTS ARE SHOWN FOR THE PROPOSED BUILDING AND ARE SHOWN ON SHEET 84-13334 AND 84-13335.

**SUPPLEMENTAL INFORMATION**

THESE ARE THE PROPOSED IMPROVEMENTS, CALCULATIONS OR INFORMATION REQUIRED FOR THIS DEVELOPMENT, AND ARE NOT TO BE CONSIDERED AS PART OF THE DEVELOPMENT. THE IMPROVEMENTS ARE SHOWN FOR THE PROPOSED BUILDING AND ARE SHOWN ON SHEET 84-13334 AND 84-13335.

**PROPOSED SITE DESIGN**

THE DESIGN OF THE PROPOSED BUILDING AND ITS LOCATION ARE SHOWN ON SHEET 84-13334. THE PROPOSED IMPROVEMENTS ARE SHOWN FOR THE PROPOSED BUILDING AND ARE SHOWN ON SHEET 84-13334 AND 84-13335. THE IMPROVEMENTS ARE SHOWN FOR THE PROPOSED BUILDING AND ARE SHOWN ON SHEET 84-13334 AND 84-13335.





RINGLING CENTRE  
FOR INDUSTRY

LANDSCAPING AND  
SCREENING PLAN

**LEGEND**

[Symbol]	CONCRETE PROPERTY LINE	[Symbol]	PROPOSED ASPHALT DRIVEWAY
[Symbol]	CONCRETE CURB	[Symbol]	PROPOSED ASPHALT DRIVEWAY
[Symbol]	CONCRETE DRIVEWAY	[Symbol]	PROPOSED ASPHALT DRIVEWAY
[Symbol]	CONCRETE DRIVEWAY	[Symbol]	PROPOSED ASPHALT DRIVEWAY
[Symbol]	CONCRETE DRIVEWAY	[Symbol]	PROPOSED ASPHALT DRIVEWAY
[Symbol]	CONCRETE DRIVEWAY	[Symbol]	PROPOSED ASPHALT DRIVEWAY

**LANDSCAPE MATERIALS AND IRRIGATION NOTES**

ALL PLANT MATERIALS AND IRRIGATION SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH THE NOTES HEREON AND THE SPECIFICATIONS AND SCHEDULE ATTACHED HERETO.

ALL LANDSCAPE MATERIALS AND IRRIGATION SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH THE NOTES HEREON AND THE SPECIFICATIONS AND SCHEDULE ATTACHED HERETO.

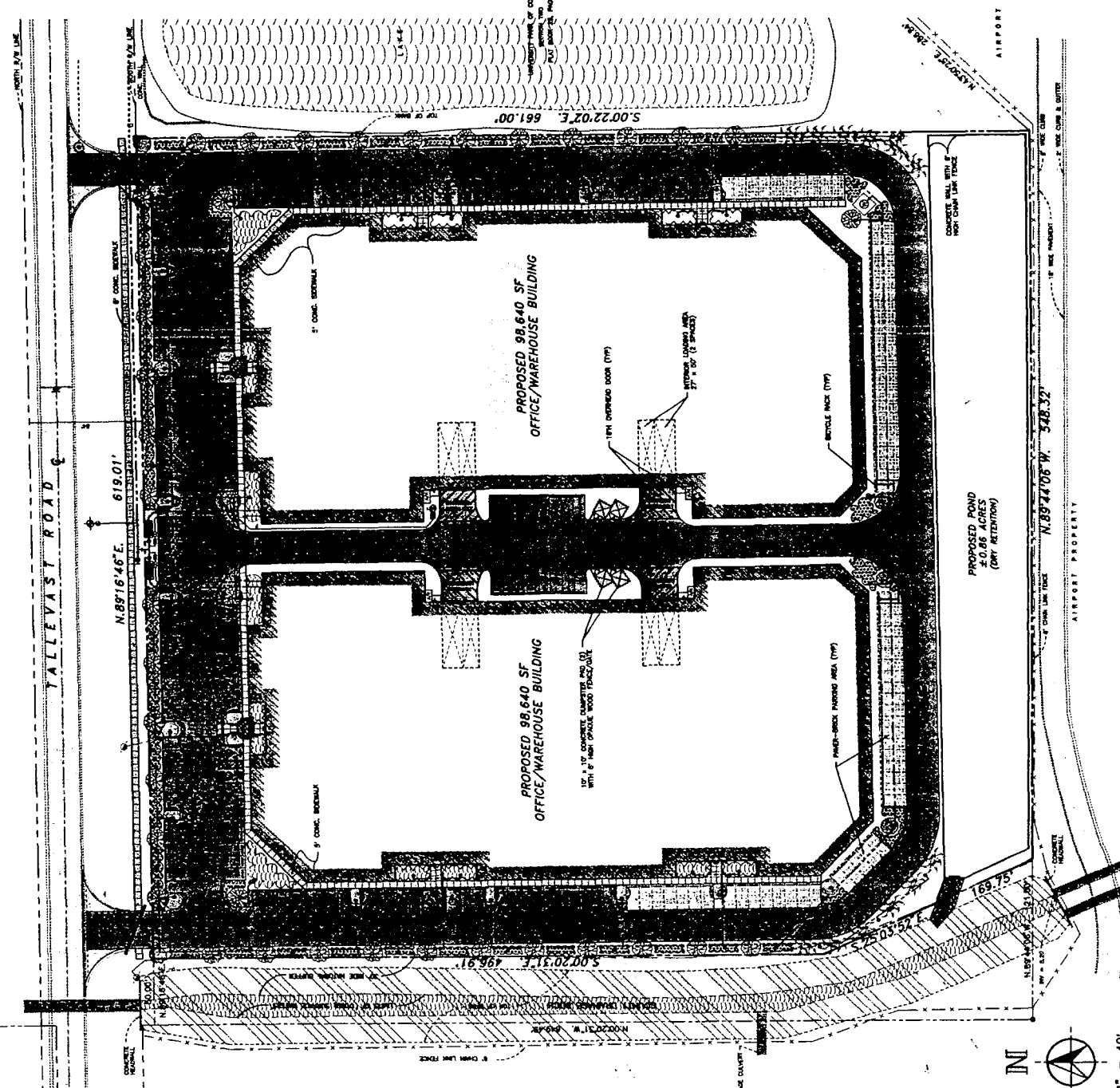
**LANDSCAPING/TREE SCHEDULE**

LANDSCAPING MATERIALS	LANDSCAPING MATERIALS
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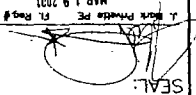
**LANDSCAPE SPECIFICATIONS**

ALL PLANT MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE NOTES HEREON AND THE SPECIFICATIONS AND SCHEDULE ATTACHED HERETO.

ALL PLANT MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE NOTES HEREON AND THE SPECIFICATIONS AND SCHEDULE ATTACHED HERETO.

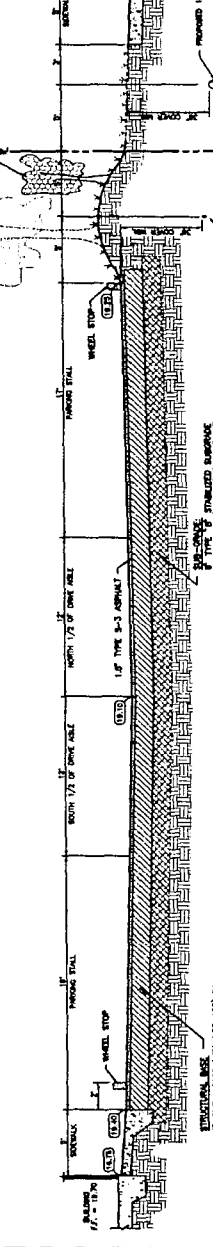
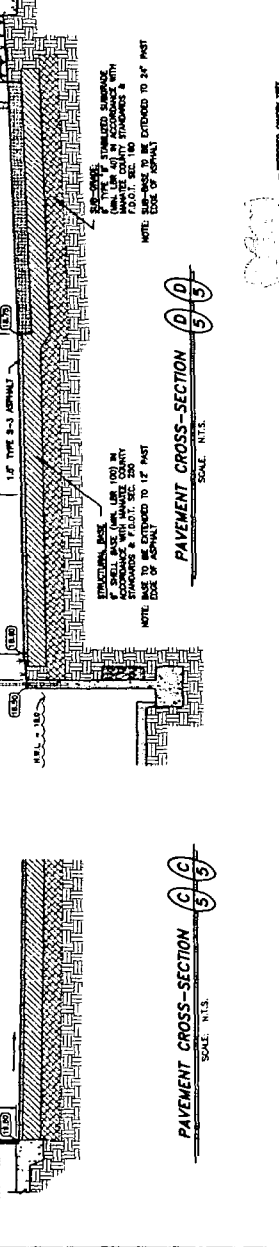
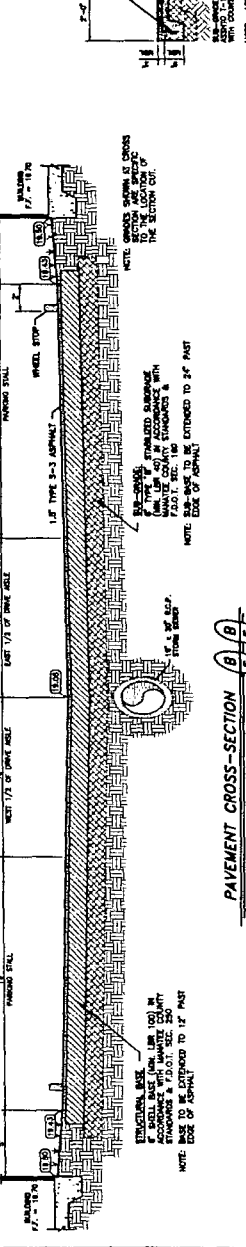
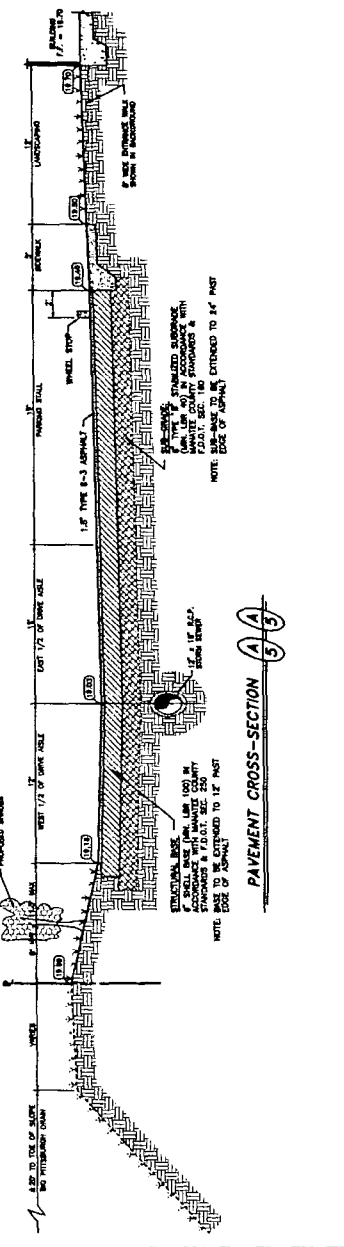
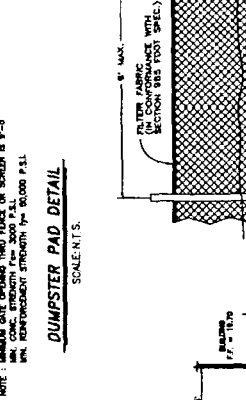
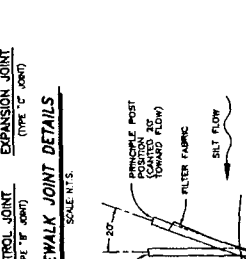
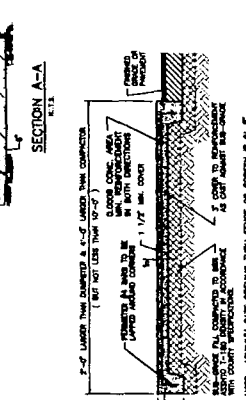
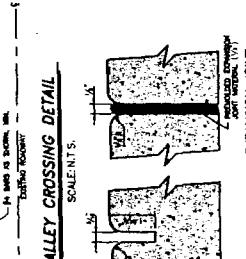
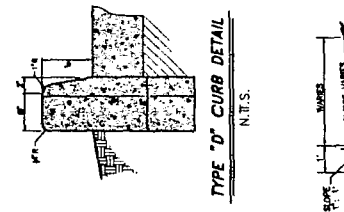
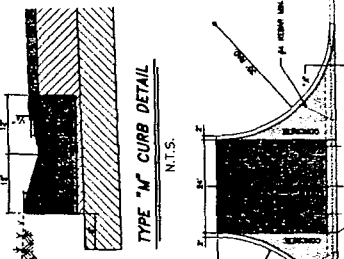


PROJECT NO. 2810	DRAWN BY J.M.
DATE 12-29-89	CHECKED BY J.M.
DESIGNED BY J.M.	IN CHARGE J.M.
SCALE 1" = 20'	

SEAL:   
 J. Mark Phinney PE # 71  
 MAR 19 2001  
 DIR# 43594

**RINGLING CENTRE  
 FOR INDUSTRY**

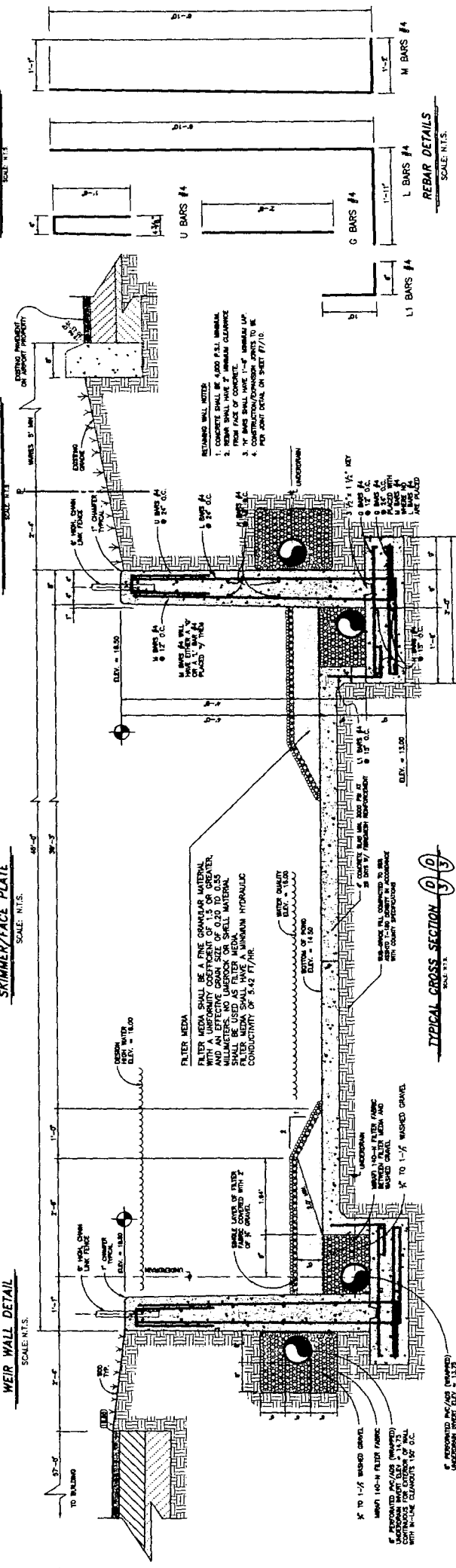
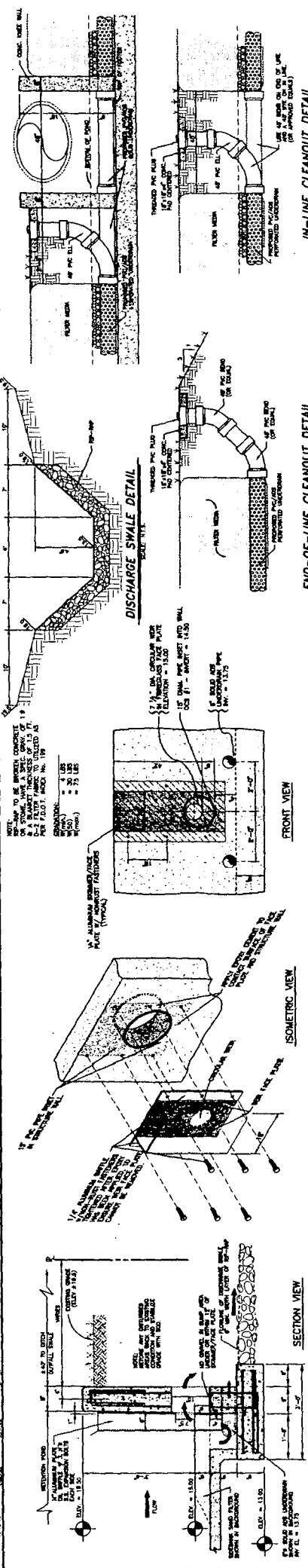
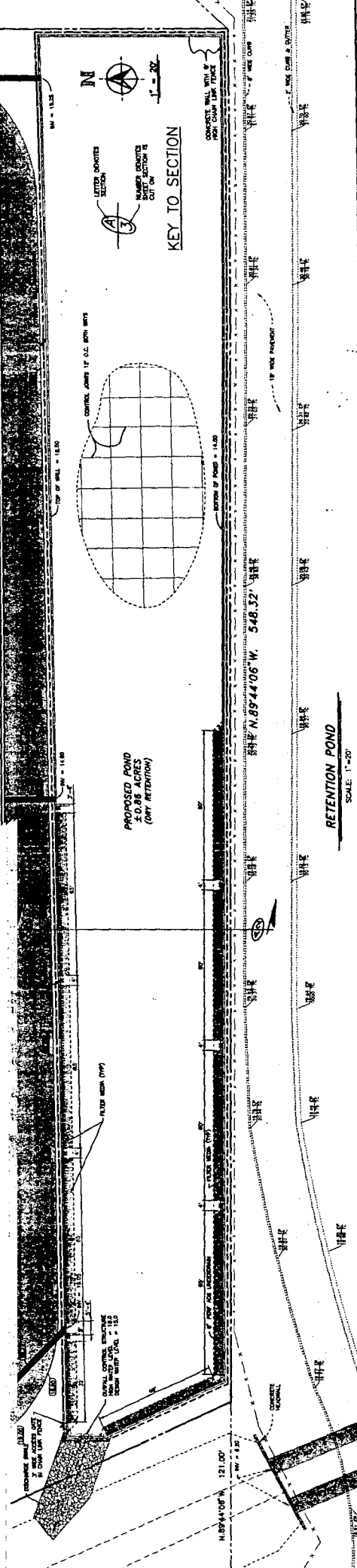
**PAVEMENT DETAILS  
 SHEET 7  
 OF 10**



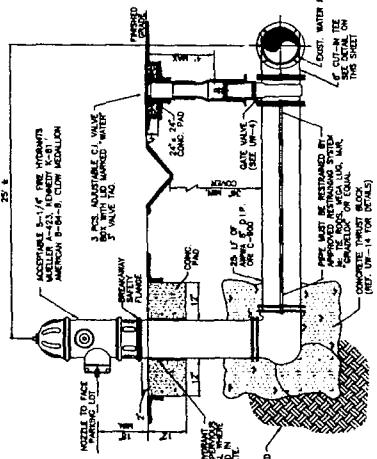
- GENERAL NOTES**
1. THE CONTRACTOR SHALL MAINTAIN A DUST DURING CONSTRUCTION.
  2. THE CONTRACTOR SHALL MAINTAIN A 1/2" (1/2") SLOPE AT THE BACK OF THE CURB THROUGHOUT THE PROJECT. ALL CURB, SIDEWALK, AND DRIVEWAY AREAS SHALL BE CONSTRUCTED TO MAINTAIN THE 1/2" (1/2") SLOPE THROUGHOUT THE PROJECT.
  3. ALL PAVED AREAS SHALL BE CONSTRUCTED TO MAINTAIN THE 1/2" (1/2") SLOPE THROUGHOUT THE PROJECT.
  4. TEMPORARY EROSION CONTROLS SHALL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE EROSION.
  5. TEMPORARY EROSION CONTROLS SHALL BE CONSTRUCTED OF 1/2" (1/2") SLOPE THROUGHOUT THE PROJECT.
  6. THE LOCATION OF EXISTING UTILITIES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
  7. ALL EXISTING UTILITIES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
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  11. ALL EXISTING UTILITIES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
  12. ALL EXISTING UTILITIES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.

**CYRK ENGINEERING, INC.**  
 Engineers & Surveyors  
 5887 Whitefield Avenue  
 Sarasota, Fla 34243  
 (941) 358-8812 (ph) • (941) 358-8909 (fax)

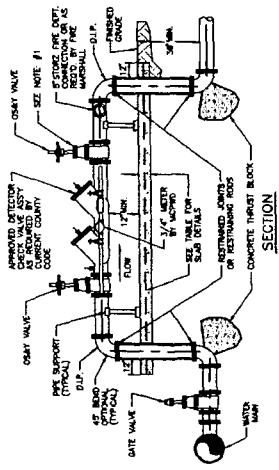
PROJECT NO. 03181	DATE: 11/14/09
DRAWN BY: JLR	CHECKED BY: JLR
REVISIONS TO: 01/2011	DATE: 11/14/09
REVISIONS TO: 03/2011	DATE: 03/08/11
WORK PROVIDED BY: Ringling Center for Industry	DATE: 10/15/09



- NOTES:**
1. REPELERS TO BE PLACED WITH BRASS PLUGS
  2. PROTECTIVE COATINGS TO BE APPLIED TO ALL EXPOSED SURFACES OF CONCRETE
  3. CONCRETE SHALL BE PLACED WITH BRASS PLUGS
  4. HYDRANTS SHALL BE INSTALLED WITH BRASS PLUGS
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**FIRE HYDRANT DETAIL**  
 SCALE: N.T.S.

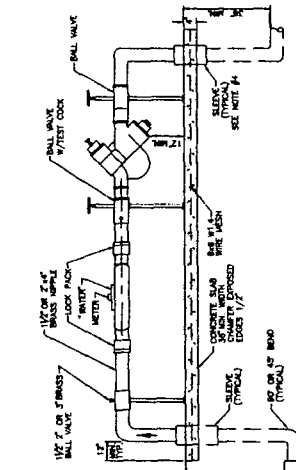


**SECTION**

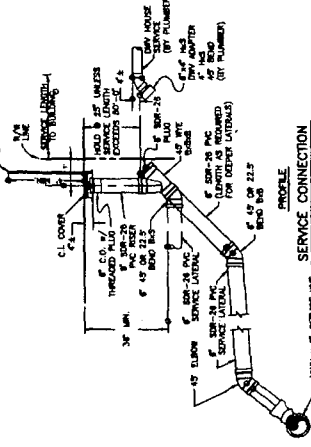
**BLM DETAILS**

ITEM	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE THROST BLOCK	1	EA
2	PIPE SUPPORT	1	EA
3	GATE VALVE	1	EA
4	CONCRETE THROST BLOCK	1	EA

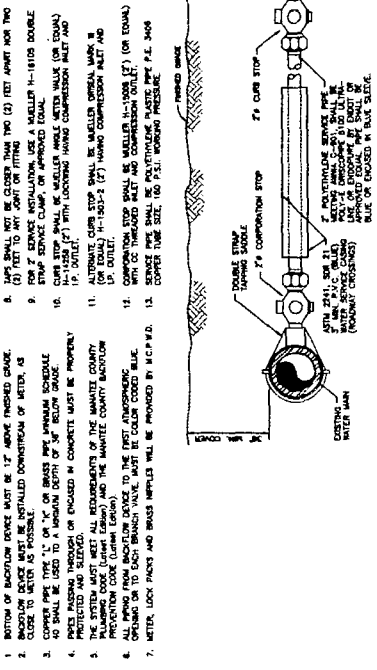
**BACKFLOW PREVENTER DETAILS**  
 SCALE: N.T.S.



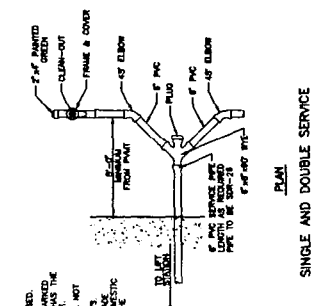
**WATER SERVICE DETAILS**  
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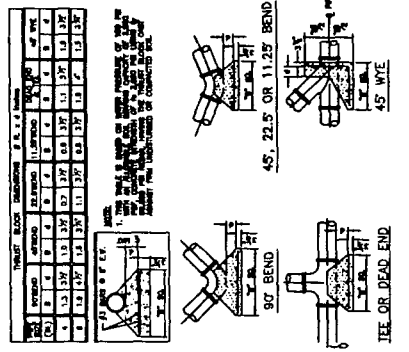
**SANITARY SERVICE DETAILS**  
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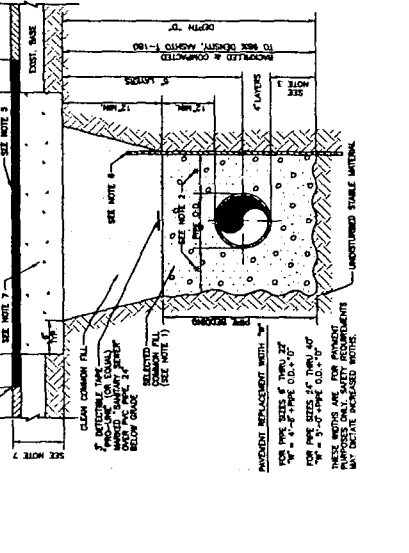
**SINGLE AND DOUBLE SERVICE**



**THRUST BLOCK DETAILS**  
 SCALE: N.T.S.



**GATE VALVE DETAILS**  
 SCALE: N.T.S.



**TYPE "A" PIPE BEDDING DETAIL**  
 SCALE: N.T.S.

- NOTES:**
1. BOTTOM OF BACKFLOW DEVICE MUST BE 1" ABOVE FINISHED GRADE.
  2. PROTECTIVE COATINGS TO BE APPLIED TO ALL EXPOSED SURFACES OF CONCRETE
  3. CONCRETE SHALL BE PLACED WITH BRASS PLUGS
  4. HYDRANTS SHALL BE INSTALLED WITH BRASS PLUGS
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**SPECIFICATIONS**  
DESIGN CONDITIONS

MODEL SPH-300-HEZ-2 H.P. 3.0 H.P.  
VOLT 200/230 VOLTS PHASE 1 PHASE  
DISCHARGE 2.0" IMPELLER 4.75"  
CWM 48 LB. CPM TDH 40.3 TDH  
VOLUME PER DAY 180 EMP @ 13 GAL/EMP = 13500 GALLONS  
VOLUME PER DOSE 185.08 GALLONS  
DOSES PER DAY 51.1

**NOTE:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND ALL OTHER AGENCIES INVOLVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND ALL OTHER AGENCIES INVOLVED.

**MOTOR:** THE MOTOR SHALL BE A V.P.T. (VARIABLE POLYMER THERMAL) MOTOR. THE MOTOR SHALL BE A V.P.T. (VARIABLE POLYMER THERMAL) MOTOR. THE MOTOR SHALL BE A V.P.T. (VARIABLE POLYMER THERMAL) MOTOR.

**SEAL CHAMBER:** THE SEAL CHAMBER SHALL BE A V.P.T. (VARIABLE POLYMER THERMAL) SEAL CHAMBER. THE SEAL CHAMBER SHALL BE A V.P.T. (VARIABLE POLYMER THERMAL) SEAL CHAMBER. THE SEAL CHAMBER SHALL BE A V.P.T. (VARIABLE POLYMER THERMAL) SEAL CHAMBER.

**GRINDER ASSEMBLY & CONSTRUCTION:** THE GRINDER ASSEMBLY SHALL BE A V.P.T. (VARIABLE POLYMER THERMAL) GRINDER ASSEMBLY. THE GRINDER ASSEMBLY SHALL BE A V.P.T. (VARIABLE POLYMER THERMAL) GRINDER ASSEMBLY. THE GRINDER ASSEMBLY SHALL BE A V.P.T. (VARIABLE POLYMER THERMAL) GRINDER ASSEMBLY.

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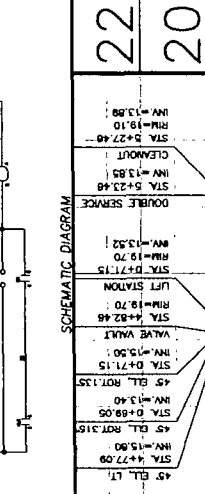
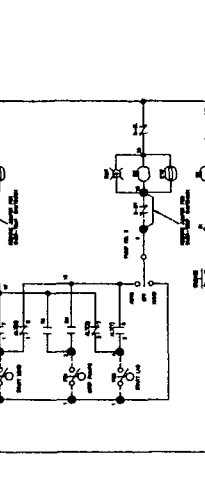
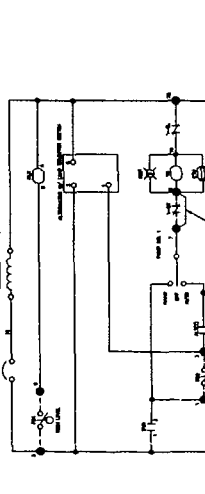
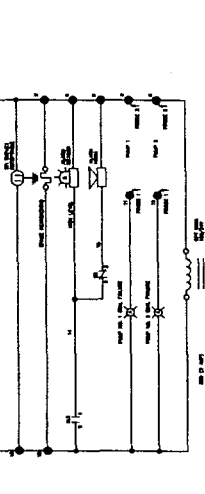
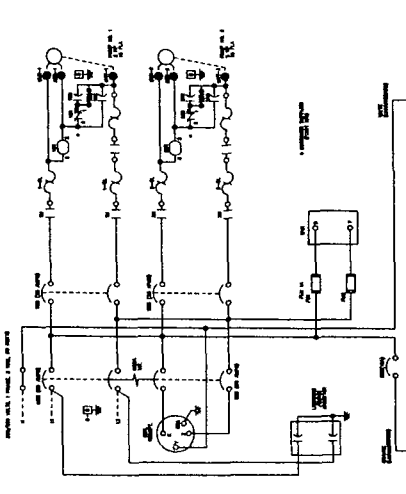
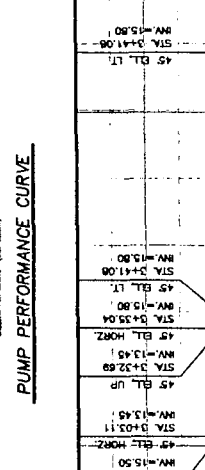
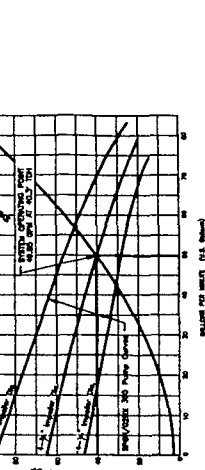
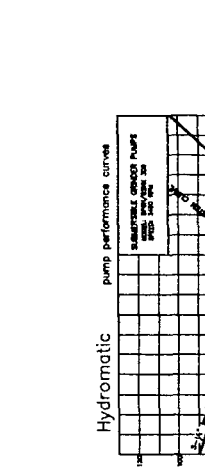
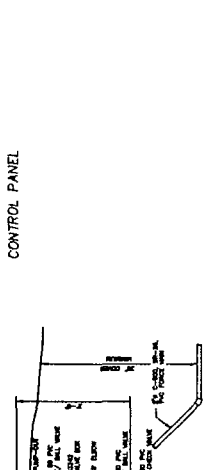
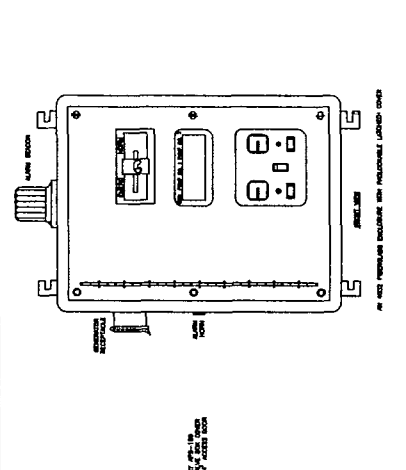
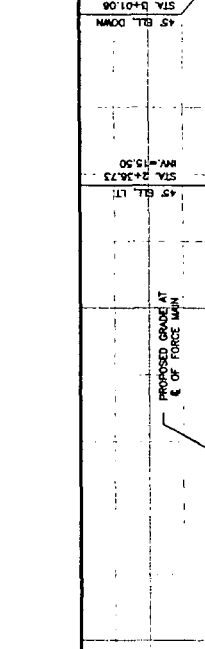
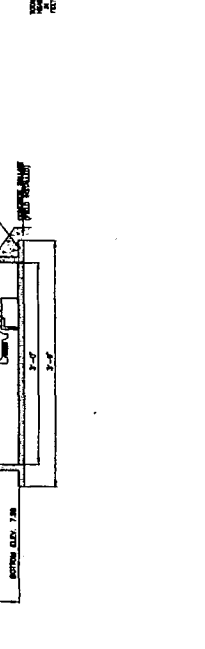
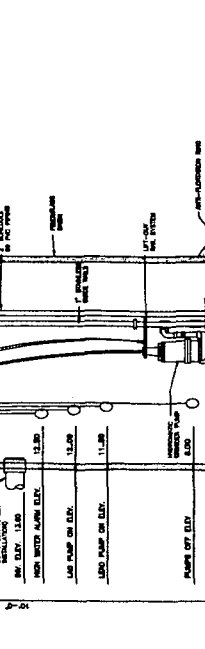
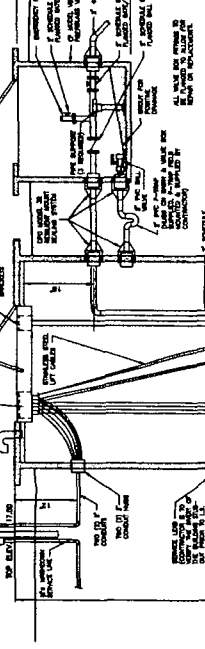
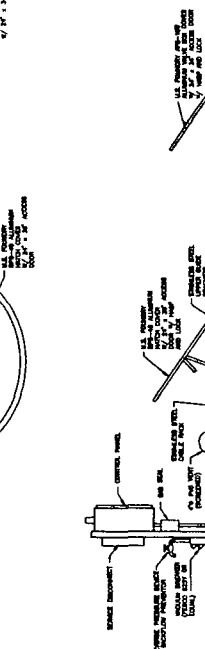
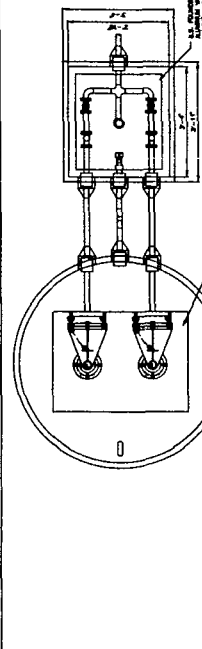
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CYRIX ENGINEERING, INC.  
Engineers & Surveyors  
5887 Whitfield Avenue  
Sarasota, Fla 34243

PROJECT NO. 02798  
DRAWN BY L.J.M.  
CHECKED BY A.P.P.  
DATE 11 SEP 00  
REVISIONS  
DATE  
BY

SEAL  
J. Mark P...  
MAY 19 2011  
Date

**RINGLING CENTRE  
FOR INDUSTRY**

GENERAL DETAILS  
GRINDER STATION  
SHEET  
10  
OF 10

