

**RESOLUTION R-10-0090
MTI – CARUSO ROAD SCHOOL SITE
SSP-10-01 – DTS#20100101**

A Resolution of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a School Site Plan submitted by the Manatee County School Board – MTI Caruso Road School Site on approximately 29.9± acres, located approximately 545± feet east of the northeast corner of S.R. 70 and Caruso Road at 6545 S.R. 70 East, Bradenton; providing for development standards and conditions setting forth findings; providing for severability, and providing for an effective date.

WHEREAS, the Manatee County School Board (the “Applicant”) has filed an application for a School Site Plan (SSP-10-01) depicting one proposed school site within approximately 29.9± acre portion of a total parcel consisting of 191.66± acres, described in Exhibit “A”, attached hereto and make of part hereof by reference, (the “School Site Plan”); and

WHEREAS, the Planning staff has recommended approval of the School Site Plan as described in the Planning staff report.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MANATEE COUNTY, FLORIDA:

Section 1. FINDINGS OF FACT. The recitals set forth above are true and correct and are hereby adopted as findings by the Board of County Commissioners. The Board of County Commissioners of Manatee County, after considering the testimony, evidence, documentation, application for the School Site Plan, the recommendation and findings of staff, as well as all other matters presented to the Board at the public hearing hereinafter referenced, hereby makes the following findings of fact:

A. The Board of County Commissioners has received and considered the report of staff concerning the application for a School Site Plan as it relates to the real property described in Exhibit “A” of this Resolution.

B. The Board of County Commissioners, after due public notice, held a public hearing on June 3, 2010 regarding the proposed School Site Plan described herein in accordance with the requirements of Manatee County Land Development Code and has further considered the information received at the public hearing.

C. The Board of County Commissioners hereby finds that the School Site Plan depicting the location of the proposed Manatee Technical Institute (MTI) consisting of approximately 215,000 square feet with a future expansion of a maximum of 35,000 square feet on the ±29.9 acre portion of the overall ±191.66 acre site complies with the standards set forth in LDC Section 520.

Section 2. SCHOOL SITE PLAN. A School Site Plan is hereby approved for a proposed school site as follows: for a future Manatee Technical Institute (MTI) with a maximum of 215,000 square feet and future expansion of a maximum of 35,000 square feet, on ±29.9 acres; subject to the following Stipulations:

STIPULATIONS

A. NATURAL RESOURCES

1. An ERP approved by SWFWMD shall be provided to NRD for review prior to commencement of construction.
2. Two separate inspections by NRD staff are required prior to authorization of construction and/or land clearing activities:
 - The applicant is authorized to stake erosion and sediment control (ESC) device and tree barricade locations. After staking ESC measures, NRD staff must be contacted to inspect the staked locations.
 - After the installation of ESC devices and tree barricades have been completed, a second inspection is required to ensure adequacy.
 - The contractor's name and contact information shall be provided to NRD staff prior to commencement of construction.
3. The following items must be completed in accordance with the approved School Board Site and inspected by NRD staff prior to occupancy:
 - Nuisance, exotic plant species removal in accordance with the approved Landscape Plans. Ongoing management events shall provide for the continues removal of nuisance species that become re-established within open spaces for the life of the project.
 - Wetland buffer restoration, in accordance with the WilsonMiller plan submitted 4/8/10.
 - Conservation Easement area sign installation (locations and details are subject to NRD staff approval).
 - Dedication of Conservation Easement to Manatee County for the areas defined as post-development jurisdictional wetlands and wetland buffers.

B. HEALTH DEPARTMENT

1. A permit for the water distribution system is required from the Health Department prior to start of construction.
2. The primary licensing agency for *public* schools is the Department of Education and the local School Board. Their approval of this project is required. *All* school plants must conform to 64E-13, Florida Administrative Code. In addition, any school that serves food must meet the requirements of Chapter 64E-11, Florida Administrative Code prior to licensure. Prior to construction, plans of the facility and its operation shall be submitted to and approved by the Manatee County Health Department. Plans may be submitted by the owner, prospective operator or their designated representative. All plans shall comply with the requirements of this chapter.

C. STORMWATER MANAGEMENT

1. A copy of the Construction Plans and drainage calculations shall be provided to the Stormwater Management Division when application is made to SWFWMD.

Section 3. FINDING OF CONSISTENCY. The Board of County Commissioners hereby finds the School Site Plan (SSP-10-01) consistent with the Comprehensive Plan in regard to impacts on natural resources, surrounding land uses and public facilities and with Sec. 520.5 Land Development Code.

Section 4. SEVERABILITY. If any section, sentence, clause, or other provision of this Resolution shall be held to be invalid or unconstitutional by a court of competent jurisdiction, such section, sentence, clause, or provision shall be deemed severable, and such invalidity or unconstitutionality shall not be construed as to render invalid or unconstitutional the remaining sections, sentences, clauses, or provisions of this Resolution.

Section 5. CODIFICATION. Pursuant to §125.68(1), Florida Statutes, this resolution is not required to be codified. Therefore, the Clerk shall not transmit the resolution for codification.

Section 6. EFFECTIVE DATE. This resolution shall take effect immediately upon adoption.

PASSED AND DULY ADOPTED, by the Board of County Commissioners of Manatee County, Florida on the 3rd day of June, 2010.

**BOARD OF COUNTY COMMISSIONERS
OF MANATEE COUNTY, FLORIDA**

BY: _____

Carol Whitmore, First Vice-Chairman

ATTEST: R. B. SHORE
Clerk of the Circuit Court



BY: _____

Deputy Clerk

EXHIBIT "A"

DESCRIPTION:

THAT 29.9 ACRE \pm PARCEL OF THE FOLLOWING DESCRIBED PROPERTY AS SHOWN ON THE SCHOOL SITE PLAN.

THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

TOGETHER WITH:

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER LYING NORTH OF HIGHWAY 70 IN SECTION 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

TOGETHER WITH:

THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER LYING NORTH OF HIGHWAY 70 IN SECTION 14, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

LESS:

RIGHT-OF-WAY DEDICATIONS AS RECORDED IN OFFICIAL RECORDS BOOK 2143, PAGE 1940, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

RIGHT-OF-WAY DEDICATION #1

COMMENCE AT THE SECTION CORNER COMMON TO SECTIONS 10, 11, 14 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST; THENCE S00°09'22"W, ALONG THE WEST LINE OF SAID SECTION 14, A DISTANCE OF 290.88 FT. TO THE INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY OF STATE ROAD 70, AS SHOWN ON F.D.O.T. RIGHT-OF-WAY MAP, SECTION 13160-2516; THENCE S89°41'33"E, ALONG SAID NORTHERLY RIGHT-OF-WAY, A DISTANCE OF 1553.40 FT. TO THE P.C. OF A CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 2944.79 FT.; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY AND THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 00°02'25", A DISTANCE OF 2.07 FT. FOR A POINT OF BEGINNING; THENCE CONTINUE, ALONG SAID NORTHERLY RIGHT-OF-WAY AND THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 01°04'14", A DISTANCE OF 55.02 FT. TO THE INTERSECTION WITH THE WESTERLY LINE OF CAMPBELL COMMERCIAL SUBDIVISION, AS RECORDED IN PLAT BOOK 23, PAGE 141, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE N00°51'41"W, ALONG SAID WESTERLY LINE, A DISTANCE OF 288.78 FT.; THENCE N00°41'55"W, ALONG SAID WESTERLY LINE, A DISTANCE OF 20.74 FT.; THENCE N90°00'00"W, 55.00 FT.; THENCE S00°41'55"E, 21.49 FT.; THENCE S00°51'41"E, A DISTANCE OF 287.18 FT. TO THE POINT OF BEGINNING, BEING AND LYING IN SECTIONS 11 AND 14, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

AND:

RIGHT-OF-WAY DEDICATION #2

COMMENCE AT THE SECTION CORNER COMMON TO SECTIONS 10, 11, 14 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST; THENCE S00°09'22"W, ALONG THE EAST LINE OF SAID SECTION 15, A DISTANCE OF 290.88 FT. TO THE INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY OF STATE ROAD 70, AS SHOWN ON F.D.O.T. RIGHT-OF-WAY MAP, SECTION 13160-2516; THENCE N89°41'33"W, ALONG SAID NORTHERLY RIGHT-OF-WAY, A DISTANCE OF 1238.90 FT. FOR A POINT OF BEGINNING; THENCE CONTINUE N89°41'33"W, ALONG SAID NORTHERLY RIGHT-OF-WAY, A DISTANCE OF 44.37 FT. TO THE INTERSECTION WITH THE EASTERLY MAINTAINED RIGHT-OF-WAY OF CARUSO ROAD AS RECORDED IN ROAD PLAT BOOK 9, PAGES 90 THROUGH 100, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE N00°55'25"W, ALONG SAID EASTERLY MAINTAINED RIGHT-OF-WAY, A DISTANCE OF 289.83 FT. TO THE INTERSECTION WITH THE SECTION LINE COMMON TO SAID SECTIONS 10 AND 15; THENCE CONTINUE N00°55'25"W, ALONG SAID EASTERLY MAINTAINED RIGHT-OF-WAY, A DISTANCE OF 1602.84 FT.; THENCE N00°45'58"W, ALONG SAID EASTERLY MAINTAINED RIGHT-OF-WAY, A DISTANCE OF 1043.37 FT. TO THE SOUTHWEST CORNER OF LOT 1 OF DUDE RANCH ACRES, A SUBDIVISION AS RECORDED IN PLAT BOOK 12, PAGE 29, SAID PUBLIC RECORDS; THENCE S89°48'19"E, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 45.01 FT.; THENCE S00°58'58"E, A DISTANCE OF 2645.56 FT. TO THE INTERSECTION WITH AFORESAID COMMON LINE TO SECTIONS 10 AND 15; THENCE S00°18'25"W, A DISTANCE OF 290.62 FT. TO THE POINT OF BEGINNING, BEING AND LYING IN SECTIONS 10 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

ALL OF THE ABOVE BEING AND LYING IN SECTIONS 10, 11, 14 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA, AND CONTAINING 191.66 ACRES, MORE OR LESS.

SM\Forms\Manatee County\Braden River High Site less rw takings-rev

BRADENTON HERALD

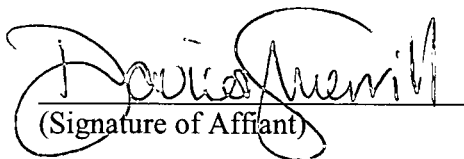
WWW.BRADENTON.COM
P.O. Box 921
Bradenton, FL 34206-0921
102 Manatee Avenue West
Bradenton, FL 34205-8894
Ph: 941-745-7066
Fax: 941-708-7758

Bradenton Herald
Published Daily
Bradenton, Manatee County, Florida

STATE OF FLORIDA COUNTY OF MANATEE

Before the undersigned authority personally appeared Danica Sherrill, who, on oath, says that she is a Legal Advertising Representative of the Bradenton Herald, a daily newspaper published at Bradenton in Manatee County, Florida; that the attached copy of the advertisement, **LEGAL NOTICE OF ZONING AND DRI CHANGES** as published in said newspaper in the issue **05/19/2010**.

Affiant further says that the said publication is a newspaper published at Bradenton, in said Manatee County, Florida, and that the said newspaper has heretofore been continuously published in said Manatee County, Florida, each day and has been entered as second-class mail matter at the post office in Bradenton, in said Manatee County, Florida, for a period of 1 year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.


(Signature of Affiant)

Sworn to and subscribed before me this

20 Day of May, 2010



SEAL & Notary Public

Personally Known ☒ OR Produced Identification ☐
Type of Identification Produced _____



BRADENTON HERALD

CLASSIFIED ADVERTISING

Order:	131967881	Pubs:	1,9	Rate:	LE
Phone:	9417493070	Class:	4995	Charges:	\$ 0.00
Account:	11950	Start Date:	05/19/2010	List Price:	\$ 848.47
Name:	MANATEE,	Stop Date:	05/19/2010	Payments:	\$ 0.00
Firm:	MANATEE CO PLANNING	Insertions:	2	Balance:	\$ 848.47

NOTICE OF ZONING AND DRI CHANGES IN UNINCORPORATED MANATEE COUNTY

NOTICE IS HEREBY GIVEN that the Board of County Commissioners of Manatee County will conduct a Public Hearing on **Thursday, June 3, 2010, at 9:00 A.M.** at the Manatee County Government Administrative Center, 1st Floor Chambers, to consider and act upon the following matters:

Z-10-02 - GERALD L. SAPP/GS DEVELOPMENT REZONE (DTS # 20100059)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, amending the official zoning atlas (Ordinance No. 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 4.06 acres on the northeast corner of U.S. 41 (1st Street East) and 30th Avenue East, at 2915 and 2929 1st St. E., Bradenton, from PDC (Planned Development Commercial) to the GC (General Commercial) zoning district; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

PDR-06-66(Z)(P) - CNL BANK / BAYOU POINTE ESTATES (DTS #20080364)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of \pm 22.00 acres on the south side of 25th Street East (Lyntnor Road), approximately 1,800 feet east of 80th Avenue East (Royal Palm Way), and North of the Manatee River

at 8923 & 8955 25th Street East (Lyntnor Road), Parrish from A/NCO (General Agriculture/North Central Overlay) and A/CH/NCO (General Agriculture/Coastal High Hazard Overlay/North Central Overlay) to the PDR/NCO (Planned Development Residential/North Central Overlay) and PDR/CH/NCO (Planned Development Residential/Coastal High Hazard /North Central Overlay Districts) zoning districts; and approval of a Preliminary Site Plan for 10 single-family detached residences; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective

PDMU-97-05(P)(R4) - ELLENTON ICE & SPORTS COMPLEX (FKA JP IGLOO) (DTS#20100036)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding Land Development, amending Ordinance PDMU-97-05(P)(R3) pertaining to stipulations of approval regarding signs to allow a replacement message center sign for the Ellenton Ice & Sports Complex (fka JP Igloo), providing for Specific Approvals as applicable, approving a replacement message center sign. Ellenton Ice & Sports Complex is generally located northeast of I-75 and US-301, off of 29th Street East at 5309 29th Street East (9.59 \pm acres), Ellenton; subject to stipulations as conditions of approval; setting forth findings; providing for severability, and providing an effective date.

PDMU-06-28(Z)(P) - CHAMAX, LLC/SWEETWATER PRESERVE (DTS#20050269)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas of

Manatee County, Ordinance No. 90-01 (the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezoning of approximately 824.15 acres north of Buckeye Road, west of Interstate 75, and extending north to the Hillsborough County line from the A (General Agriculture) zoning district to the PDMU (Planned Development Mixed Use) zoning district; approving a Preliminary Site Plan for 1,719 residential units consisting of: 833 lots for single-family detached residences, 678 lots for single-family attached residences, 208 multi-family units, 150,000 square feet of commercial space, and a 208-acre public park; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

R-10-043 - SWEETWATER PRESERVE GATEWAY / CHAMAX, LLC (DTS#20100007) - PDMU-10-02(G)

A Resolution of the Board of County Commissioners of Manatee County, Florida regarding land development, approving a Gateway Master Plan for a project previously proposed as "Sweetwater Preserve" on property generally located north of Buckeye Road, west of I-75, and extending north to the Hillsborough County line, consisting of approximately 824 acres within the North County Gateway Overlay District; providing for specific approval regarding building setbacks and height; providing for conditions of approval; setting forth findings; providing for severability and providing for an effective date.

ORDINANCE 10-47 - DRI # 24 HERITAGE HARBOUR (FKA HERITAGE SOUND)

An Ordinance of the Board of County Commissioners of Manatee County, Florida regarding land development, rendering an amended and restated Development Order pursuant to Chapter 380, Florida Statutes, for the Heritage Sound Development of Regional Impact (Ordinance 03-25); a/k/a TBRPC DRI #240; including a determination of whether the following changes constitute a substantial deviation to the Heritage Harbour Development of Regional Impact (DRI) in response to the owner's submittal of a Notice of Proposed Change (NOPC): 1) an allowance for a hotel as an alternative use on parcels 19 and/or 20, 2) an increase in the amount of commercial floor area by 54,900 square feet, 3) the addition of a land use equivalency matrix for parcels 19 & 20 that allows conversion of the permitted commercial uses (retail, office, and hotel) designed to keep trip generation the same, and 4) an amended map h; providing for development approval, conditions, and obligations; providing for severability; and providing an effective date.

PDMU-98-08(G)(R4) - HERITAGE HARBOUR

An Ordinance of Manatee County, Florida, regarding land development, amending Ordinance No. PDMU-09-08(G)(R2) to approve an amended General Development Plan for property consisting of approximately 106.6 acres generally located north of SR 64, west of Grand Harbour Parkway, and east of I-75 a/k/a the Landings at Heritage Harbour; said approval being specifically applicable to parcels nos. 19 & 20 within said project; providing for stipulations regarding signs to allow a sign plan; providing for specific approvals as applicable; approving the addition of approximately 54,900 square feet of commercial floor area; additional revisions are indicated in said ap-

plication; providing for severability; and providing for an effective date.

**LDA-09-03 -
LOCAL DEVELOPMENT
AGREEMENT FOR SILVERLEAF
DEVELOPMENT**

Request: Approval of a Local Development Agreement providing for the issuance of an extended certificate of level of service compliance; providing for dedication of right-of-way and the payment of a proportionate share of the cost to mitigate impacts on public facilities; providing for design, permitting and construction of project entrance improvements including turn lanes; providing for severability, and providing for an effective date. The Local Development Agreement applies to Silverleaf for which approval is sought pursuant to pending application known as PDR-05-60 (Z)(P) (263.35 ± acres). The proposed use of the properties is residential development. Pursuant to the pending zoning request, Silverleaf is seeking approval for 713 residential units, each with a maximum height of 35 feet.

**PDR-05-60(Z)(P) - NAP DUKE
RANCH, LLC, MML I, LLC, and
PGCI I, LLC / SILVERLEAF**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance No. 90-01, the Manatee County Land Development Code) relating to zoning within the unincorporated area; providing for a rezone of approximately 263.35 acres at the northwest corner of Old Tampa Road and Chin Road from A/NCO (General Agricultural/North Central Overlay) to the PDR/NCO (Planned Development Residential) zoning district, retaining the North Central Overlay; approving a Preliminary Site Plan for 713 single-family detached units; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**RESOLUTION
10-090 - SSP-10-01 MTI -
CARUSO ROAD SCHOOL SITE
(DTS #20100101)**

A Resolution of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a School Site Plan submitted by the Manatee County School Board - MTI Caruso Road School Site on approximately 29.9 ± acres, located approximately 545 ± feet east of the northeast corner of S.R. 70 and Caruso Road at 6545 SR 70 East, Bradenton; providing for development standards and conditions setting forth findings; providing for severability, and providing for an effective date.

Interested parties may examine the proposed Ordinance and related documents and may obtain assistance regarding this matter from the Manatee County Planning Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida; telephone number (941) 748-4501 x6878; e-mail to: planning.agenda@mymanatee.org.

According to Florida Statutes, Section 286.0105, any person desiring to appeal any decision made by the Board of County Commissioners with respect to any matter considered at said Public Hearing will need a record of the proceedings, and for such purposes he may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based.

Americans with Disabilities: The Board of County Commissioners does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS.

**MANATEE COUNTY BOARD OF
COUNTY COMMISSIONERS**
Manatee County Planning
Department
Manatee County, Florida
05/19/2010

AFFIDAVIT OF PUBLICATION

SARASOTA HERALD-TRIBUNE
PUBLISHED DAILY
SARASOTA, SARASOTA COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF MANATEE

BEFORE THE UNDERSIGNED AUTHORITY PERSONALLY APPEARED SHARI BRICKLEY, WHO ON OATH SAID SHE IS DIRECTOR OF ADVERTISING FOR THE SARASOTA HERALD-TRIBUNE, A DAILY NEWSPAPER PUBLISHED AT SARASOTA, IN SARASOTA COUNTY FLORIDA; AND CIRCULATED IN MANATEE COUNTEE DAILY; THAT THE ATTACHED COPY OF ADVERTISEMENT BEING A NOTICE IN THE MATTER OF:

Legal description documented below:

IN THE COURT WAS PUBLISHED IN THE MANATEE EDITION OF SAID NEWSPAPER IN THE ISSUES OF:

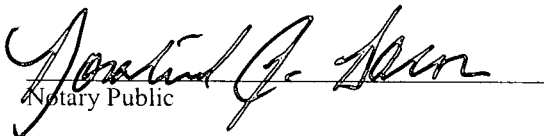
5/19 1x

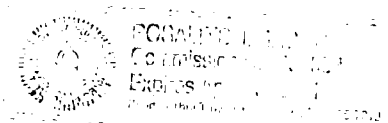
AFFIANT FURTHER SAYS THAT THE SAID SARASOTA HERALD-TRIBUNE IS A NEWSPAPER PUBLISHED AT SARASOTA, IN SAID SARASOTA COUNTY, FLORIDA, AND THAT THE SAID NEWSPAPER HAS THERETOFORE BEEN CONTINUOUSLY PUBLISHED IN SAID SARASOTA COUNTY, FLORIDA, EACH DAY, AND HAS BEEN ENTERED AS SECOND CLASS MAIL MATTER AT THE POST OFFICE IN BRADENTON, IN SAID MANATEE COUNTY, FLORIDA, FOR A PERIOD OF ONE YEAR NEXT PRECEDING THE FIRST PUBLICATION OF THE ATTACHED COPY OF ADVERTISEMENT; AND AFFIANT FURTHER SAYS THAT SHE HAS NEITHER PAID NOR PROMISED ANY PERSON, FIRM OR CORPORATION ANY DISCOUNT, REBATE, COMMISSION OR REFUND FOR THE PURPOSE OF SECURING THIS ADVERTISEMENT FOR PUBLICATION IN THE SAID NEWSPAPER.

SIGNED



SWORN OR AFFIRMED TO, AND SUBSCRIBED BEFORE ME THIS 19 DAY OF May, A.D., 20 10
BY SHARI BRICKLEY WHO IS PERSONALLY KNOWN TO ME.


Notary Public



NOTICE OF ZONING AND DRI CHANGES IN UNINCORPORATED MANATEE COUNTY

NOTICE IS HEREBY GIVEN that the Board of County Commissioners of Manatee County will conduct a Public Hearing on Thursday, June 3, 2010, at 9:00 A.M. at the Manatee County Government Administrative Center, 1st Floor Chambers, to consider and act upon the following matters:

**Z-10-02 – GERALD L. SAPP/GS DEVELOPMENT REZONE
(DTS # 20100059)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, amending the official zoning atlas (Ordinance No. 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezoning of approximately 4.06 acres on the northeast corner of U.S. 41 (1st Street East) and 30th Avenue East, at 2915 and 2929 1st St. E., Bradenton, from PDC (Planned Development Commercial) to the GC (General Commercial) zoning district, setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDR-06-66(Z)(P) – CNL BANK / BAYOU POINTE ESTATES
(DTS #20060364)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezoning of ± 22.00 acres on the south side of 25th Street East (Lyntnor Road), approximately 1,800 feet east of 80th Avenue East (Royal Palm Way), and North of the Manatee River at 8923 & 8955 25th Street East (Lyntnor Road), Parrish from A/NCO (General Agriculture/North Central Overlay) and A/CH/NCO (General Agriculture/Coastal High Hazard Overlay/North Central Overlay) to the PDR/NCO (Planned Development Residential/North Central Overlay) and PDR/CH/NCO (Planned Development Residential/Coastal High Hazard /North Central Overlay Districts) zoning districts; and approval a Preliminary Site Plan for 10 single-family detached residences; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**PDMU-97-05(P)(R4) – ELLENTON ICE & SPORTS COMPLEX (FKA JP IGLOO)
(DTS#20100036)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding Land Development, amending Ordinance PDMU-97-05(P)(R3) pertaining to stipulations of approval regarding signs to allow a replacement message center sign for the Ellenton Ice & Sports Complex (fka JP Igloo), providing for Specific Approvals as applicable, approving a replacement message center sign. Ellenton Ice & Sports Complex is generally located northeast of I-75 and US-301, off of 29th Street East at 5309 29th Street East (9.59 ± acres), Ellenton; subject to stipulations as conditions of approval; setting forth findings; providing for severability, and providing an effective date.

**PDMU-06-28(Z)(P) – CHAMAX, LLC/SWEETWATER PRESERVE
(DTS#20050269)**

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas of Manatee County, Ordinance No. 90-01 (the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezoning of approximately 824.15 acres north of Buckeye Road, west of Interstate 75, and extending north to the Hillsborough County line from the A (General Agriculture) zoning district to the PDMU (Planned Development Mixed Use) zoning district; approving a Preliminary Site Plan for 1,719 residential units consisting of: 833 lots for single-family detached residences, 678 lots for single-family attached residences, 208 multi-family units, 150,000 square feet of commercial space, and a 208-acre public park; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

**R-10-043 - SWEETWATER PRESERVE GATEWAY / CHAMAX, LLC (DTS#20100007) -
PDMU-10-02(G)**

A Resolution of the Board of County Commissioners of Manatee County, Florida regarding land development, approving a Gateway Master Plan for a project previously proposed as "Sweetwater Preserve" on property generally located north of Buckeye Road, west of I-75, and extending north to the Hillsborough County line, consisting of approximately 824 acres within the North County Gateway Overlay District; providing for specific approval regarding building setbacks and height, providing for conditions of approval; setting forth findings; providing for severability and providing for an effective date.

ORDINANCE 10-47 - DRI # 24 HERITAGE HARBOUR (FKA HERITAGE SOUND)

An Ordinance of the Board of County Commissioners of Manatee County, Florida regarding land development, rendering an amended and restated Development Order pursuant to Chapter 380, Florida Statutes, for the Heritage Sound Development of Regional Impact (Ordinance 03-25); a/k/a TBRPC DRI #240; including a determination of whether the following changes constitute a substantial deviation to the Heritage Harbour Development of Regional Impact (DRI) in response to the owner's submittal of a Notice of Proposed Change (NOPC): 1) an allowance for a hotel as an alternative use on parcels 19 and/or 20, 2) an increase in the amount of commercial floor area by 54,900 square feet, 3) the addition of a land use equivalency matrix for parcels 19 & 20 that allows conversion of the permitted commercial uses (retail, office, and hotel) designed to keep trip generation the same, and 4) an amended map 'h'; providing for development approval, conditions, and obligations; providing for severability; and providing an effective date.

PDMU-98-08(G)(R4) - HERITAGE HARBOUR

An Ordinance of Manatee County, Florida, regarding land development, amending Ordinance No. PDMU-09-08(G)(R2) to approve an amended General Development Plan for property consisting of approximately 106.6 acres generally located north of SR 64, west of Grand Harbour Parkway, and east of I-75 a/k/a the Landings at Heritage Harbour; said approval being specifically applicable to parcels nos. 19 & 20 within said project, providing for stipulations regarding signs to allow a sign plan; providing for specific approvals as applicable; approving the addition of approximately 54,900 square feet of commercial floor area; additional revisions are indicated in said application; providing for severability; and providing for an effective date.

LDA-09-03 - LOCAL DEVELOPMENT AGREEMENT FOR SILVERLEAF DEVELOPMENT
Request: Approval of a Local Development Agreement providing for the issuance of an extended certificate of level of service compliance; providing for dedication of right-of-way and the payment of a proportionate share of the cost to mitigate impacts on public facilities; providing for design, permitting and construction of project entrance improvements including turn lanes; providing for severability, and providing for an effective date. The Local Development Agreement applies to Silverleaf for which approval is sought pursuant to pending application known as PDR-05-60 (Z)(P) (263.35 ± acres). The proposed use of the properties is residential development. Pursuant to

the pending zoning request, Silverleaf is seeking approval for 713 residential units, each with a maximum height of 35 feet.

PDR-05-60(Z)(P) – NAP DUKE RANCH, LLC, MML I, LLC, and PGCI I, LLC / SILVERLEAF

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance No. 90-01, the Manatee County Land Development Code) relating to zoning within the unincorporated area; providing for a rezoning of approximately 263.35 acres at the northwest corner of Old Tampa Road and Chin Road from A/NCO (General Agriculture/North Central Overlay) to the PDR/NCO (Planned Development Residential) zoning district, retaining the North Central Overlay; approving a Preliminary Site Plan for 713 single-family detached units; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

RESOLUTION 10-090 - SSP-10-01 MTI – CARUSO ROAD SCHOOL SITE (DTS #20100101)

A Resolution of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a School Site Plan submitted by the Manatee County School Board – MTI Caruso Road School Site on approximately 29.9 ± acres, located approximately 545 ± feet east of the northeast corner of S.R. 70 and Caruso Road at 6545 SR 70 East, Bradenton; providing for development standards and conditions setting forth findings; providing for severability, and providing for an effective date.

Interested parties may examine the proposed Ordinance and related documents and may obtain assistance regarding this matter from the Manatee County Planning Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida; telephone number (941) 748-4501 x6878; e-mail to: planning.agenda@mymanatee.org.

According to Florida Statutes, Section 286.0105, any person desiring to appeal any decision made by the Board of County Commissioners with respect to any matter considered at said Public Hearing will need a record of the proceedings, and for such purposes he may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based.

Americans with Disabilities. The Board of County Commissioners does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS.

MANATEE COUNTY BOARD OF COUNTY COMMISSIONERS
Manatee County Planning Department
Manatee County, Florida

Date of pub: May 19, 2010

**AFFIDAVIT OF POSTING OF PUBLIC NOTICE SIGN, AND
NOTIFICATION BY U.S. MAIL TO CONTIGUOUS PROPERTY OWNERS**

STATE OF Florida
COUNTY OF Manatee

BEFORE ME, the undersigned authority, personally appeared Aissa Cline, who, after having first been duly sworn and put upon oath, says as follows:

1. That he/she is the Assistant to Agent for Owner (owner, agent for owner, attorney in fact for owner, etc.) of the property identified in the application for **RESOLUTION 10-090 - SSP-10-01 MTI - Caruso Road School Site (DTS #20100101)** to be heard before the **Manatee County Board of County Commissioners** at a public hearing to be held on 6/3/10 and as such, is authorized to execute and make this Affidavit and is familiar with the matters set forth herein, and they are true to the best of his/her knowledge, information, and belief.
2. That the Affiant has caused the required public notice sign to be posted pursuant to Manatee County Ordinance No. 90-01, on the property identified in the application, and the sign(s) was conspicuously posted 10 1/2 feet from the front property line on the 21 day of May, 2010.
3. That the Affiant has caused the mailing of the required letter of notification to property owners within 500 feet of the project boundary pursuant to Manatee County Ordinance No. 90-01, as amended, by U.S. Mail, on the 21 day of May, 2010, and attaches hereto, as a part of and incorporated herein, a complete list of the names and addresses of the persons entitled to notice.
4. That Affiant is aware of and understands that failure to adhere to the provisions of Manatee County Ordinance No. 90-01, as it relates to the required public notice, may cause the above identified hearing to be postponed and rescheduled only upon compliance with the public notice requirements.

FURTHER YOUR AFFIANT SAITH NOT.

Aissa Cline
Property Owner/Agent Signature

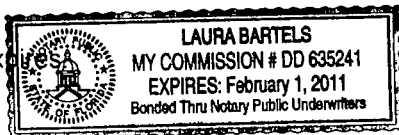
SIGNED AND SWORN TO before me on 26th (date) by May, 2010
(name of affiant). He/she is personally known to me or has produced _____ (type
of identification) as identification and who did take an oath.

SEAL

Laura Bartels
Signature of Person Taking Acknowledgment

Laura Bartels
Type Name

My Commission Expires



Commission No.:

Title or Rank

Serial Number, if any

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	MAILING ADDR1	MAILING ADDR2	CITYNAME	ST	ZIP	+4	COUNTRY	POSTALCODE	PARID	NO	STREET	STR	DIR	UNIT
1 A READINESS LEARNING ACADEMY INC	131 1ST ST E 101		TIERRA VERDE	FL	33715				1732217508	6130	SR 70		E	
2 BARFIELD, JANEY MARIE	1903 32ND AVE E		BRADENTON	FL	34208				1711500007	6524	48TH	AVE	E	
3 BERENDS, VICKIE E	6211 48TH AVENUE DR E		BRADENTON	FL	34203				1712600004	6211	48TH	AVE	E	
4 BLADES, DOROTHY K	6501 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546857	6501	FAIRWAY GARDENS	DR		
5 BODEN, KRISTINE M	6217 48TH AVENUE DR E		BRADENTON	FL	34203				1713700001	6217	48TH	AVE	E	
6 BRADEN RIVER CEMETERY INC	1215 57TH ST E		BRADENTON	FL	34208				1733700007	5835	53RD	AVE	E	
7 BRADLEY, CARTER	2704 FORT DAVIS DRIVE		MUSKOGEE	OK	74403				1731546501	6520	FAIRWAY GARDENS	DR		
8 BRANCH BANKING AND TRUST COMPANY	PO BOX 167		WINSTON SALEM	NC	27102	1290			1732217607	6250	SR 70		E	
9 BROWER, JAMES C	4190 W SHORE MANOR RD		JAMESVILLE	NY	13078				1731544357	6653	PINEVIEW	TER		
10 BURGIN, JUSTIN	1170 INDIANPIPE		LAKE ORION	MI	48360				1731545057	6622	PINEVIEW	TER		
11 BURNETT, THOMAS G	5971 RIVER FOREST CIR		BRADENTON	FL	34203				1729101152	5971	RIVER FOREST	CIR		
12 C CENTER 70 LLC	16 E 94TH ST		NEW YORK	NY	10128				1732220159	6150	SR 70		E	
13 C CENTER 70 LLC	16 E 94TH ST		NEW YORK	NY	10128				1732218559	6160	SR 70		E	
14 C CENTER 70 LLC	16 E 94TH ST		NEW YORK	NY	10128				1732218609	6170	SR 70		E	
15 CAPSTONE CAPITAL CORP	PO BOX 92129		SOUTHLAKE	TX	76092				1732217755	5440	63RD	ST	E	
16 CARINO, FERMIN	6012 48TH AVENUE DR E		BRADENTON	FL	34203				1710500008	6012	48TH	AVE	E	
17 CARNE, BETTY D	PO BOX 20494		BRADENTON	FL	34204	4942			1711600005	6528	48TH	AVE	E	
18 CARNES, ANNE	6550 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731545909	6550	FAIRWAY GARDENS	DR		
19 CASE, JOAN C	6568 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731545503	6568	FAIRWAY GARDENS	DR		
20 CHESTER, JEANIE	6512 48TH AVENUE DR E		BRADENTON	FL	34203				1711510006	6512	48TH	AVE	E	
21 CHOINACKI, RONALD E	659 DRIFTWOOD PL		TOMS RIVER	NJ	08753				1731543805	6580	FAIRWAY GARDENS	DR		
22 COFFIN, RICHARD F	PO BOX 711		DALLAS	TX	75221	0711			1732218059	5914	SR 70		E	

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	MAILING ADDR1	MAILING ADDR2	CITYNAME	ST	ZIP	+4	COUNTRY	POSTALCODE	PARID	NO	STREET	STR	DIR	UNIT
23 COMMUNITY BANK OF MANATEE	6000 SR 70 EAST		BRADENTON	FL	34203				1732200454	6000	SR 70		E	
24 COX, JAMES S	6616 48TH AVENUE DR E		BRADENTON	FL	34203				1730601009	6616	48TH	AVE	E	
25 COX, JAMES S	6616 48TH AVENUE DR E		BRADENTON	FL	34203				1714700000	4815	65TH	ST	E	
26 CRAWFORD, HARRY R	6552 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546006	6552	FAIRWAY GARDENS	DR		
27 CURRY, EVA A	6651 PINEVIEW TER		BRADENTON	FL	34203				1731544258	6651	PINEVIEW	TER		
28 DELORENZO, GEORGE J	6584 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543656	6584	FAIRWAY GARDENS	DR		
29 DENOBILO, PAMELA	6592 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543201	6592	FAIRWAY GARDENS	DR		
30 EASTMAN, DANIEL EDWARD	6591 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543300	6591	FAIRWAY GARDENS	DR		
31 F S STORES INC	18001 OLD CUTLER RD 370		PALMETTO BAY	FL	33157				1730500959	6625	SR 70		E	
32 FAIRCHILD, JOSEPH E	6410 48TH AVENUE DR E		BRADENTON	FL	34203				1711410009	6410	48TH	AVE	E	
33 FINCHER, LARRY W	6312 48TH AVENUE DR E		BRADENTON	FL	34203				1711010007	6312	48TH	AVE	E	
34 FOX, RYAN D	8380 CATAMARAN CIR		BRADENTON	FL	34202				1729101069	5979	RIVER FOREST	CIR		
35 G & G PROPERTIES	P O BOX 606		ELLENTON	FL	34222				1732300007	5885	53RD	AVE	E	
36 G & G PROPERTIES	P O BOX 52085		PHOENIX	AZ	85072	2085			1732310006	5913	53RD	AVE	E	
37 GANLEY, DANIEL P JR	6562 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731545800	6562	FAIRWAY GARDENS	DR		
38 GARLAND REAL ESTATE INC	9309 9TH AVE NW		BRADENTON	FL	34209				1732217409	6140	SR 70		E	
39 GEORGES, WILLIAM	3634 WARWICK DRIVE		STERLING HEIGHTS	MI	48314				1731546709	6510	FAIRWAY GARDENS	DR		
40 GEREN, RICHARD J	45 MLL ST 5	CARLETON PLACE ON					CANADA	K7C 1T6	1731544654	6646	PINEVIEW	TER		
41 GILMORE, PATRICIA A	1125 DOROTHY DR		PONTIAC	IL	61764				1731544803	6642	PINEVIEW	TER		
42 GOEHRING, TRONN J	6228 48TH AVENUE DR E		BRADENTON	FL	34203				1710800002	6228	48TH	AVE	E	

Parcel Owners With In a 500 Foot Buffer Around a Parcel

	OWNER	MAILING ADDR1	MAILING ADDR2	CITYNAME	ST	ZIP	+4	COUNTRY	POSTALCODE	PARID	NO	STREET	STR	DIR	UNIT
43	GOODE, GEORGE C	1041 NE 50TH AVENUE		DES MOINES	IA	50313				1731546352	6534	FAIRWAY GARDENS	DR		
44	HANSON, NANCY C	7282 55TH AVE E PMB 181		BRADENTON	FL	34203				1731545602	6570	FAIRWAY GARDENS	DR		
45	HARDEE, SHIRLEY	2216 64TH STREET CT E		BRADENTON	FL	34208	6437			1729101905	5911	RIVER FOREST	CIR		
46	HARRIS, DIANE	6514 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546758	6514	FAIRWAY GARDENS	DR		
47	HAWKINS, WILLA M	6018 48TH AVENUE DR E		BRADENTON	FL	34203	9525			1710600055	6018	48TH	AVE	E	
48	HAYES, JANICE M	6618 48TH AVENUE DR E		BRADENTON	FL	34203				1730610001	6618	48TH	AVE	E	
49	HENK, EUGENE A	6577 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543458	6577	FAIRWAY GARDENS	DR		
50	HERNANDEZ, JOSE	6111 48TH AVENUE DR E		BRADENTON	FL	34203				1712400009	6111	48TH	AVE	E	
51	HHUS LAND CO. LIMITED PARTNERSHIP	10130 BERTRAM LN		FORT MYERS	FL	33912				1730600369		44TH	AVE	E	
52	HOVSEPIAN, PETER	7010 DEERWOOD TRAIL		WEST BLOOMFIELD	MI	48323				1731543052	6596	FAIRWAY GARDENS	DR		
53	HURLEBAUS, TIMOTHY J	4404 JAYSON LN		ANNANDALE	VA	22003				1731544506	6669	PINEVIEW	TER		
54	ITH, JONATHAN	5975 RIVER FOREST CIR		BRADENTON	FL	34203				1729101301	5959	RIVER FOREST	CIR		
55	JOHNSON PHOTOIMAGING INC	6709 SR #70 E		BRADENTON	FL	34202				1730500251	6709	SR 70		E	
56	JOHNSON, BRIAN	5963 RIVER FOREST CIR		BRADENTON	FL	34203				1729101251	5963	RIVER FOREST	CIR		
57	JOHNSON, GEORGIA L	6628 PINEVIEW TER		BRADENTON	FL	34203				1731544902	6628	PINEVIEW	TER		
58	JOHNSON, GLENN J	13735 TRIDELPHIA MILL RD		CLARKSVILLE	MD	21029				1731544852	6634	PINEVIEW	TER		
59	JURNEY, CAROLE JO	6578 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543706	6578	FAIRWAY GARDENS	DR		
60	KEEN, JAMES V	6118 48TH AVENUE DR E		BRADENTON	FL	34203				1710600253	6118	48TH	AVE	E	

Parcel Owners With In a 500 Foot Buffer Around a Parcel

	OWNER	MAILING ADDR1	MAILING ADDR2	CITYNAME	ST	ZIP	+4	COUNTRY	POSTALCODE	PARID	NO	STREET	STR	DIR	UNIT
61	KELLY, REX B	6633 PINEVIEW TER		BRADENTON	FL	34203				1731543904	6633	PINEVIEW	TER		
62	KESHISHIAN, DENNIS	11990 GLENVIEW DR		PLYMOUTH	MI	48170				1731546105	6540	FAIRWAY GARDENS	DR		
63	KING, JOSEPH T	5978 RIVER FOREST CIR		BRADENTON	FL	34203				1729102051	5978	RIVER FOREST	CIR		
64	KIPLING, BRENDA M	6318 48TH AVENUE DR E		BRADENTON	FL	34203				1711200004	6318	48TH	AVE	E	
65	KLEMENT, DAVID E	3174 CONEFLOWER DR		TALLAHASSEE	FL	32311				1729101954	5907	RIVER FOREST	CIR		
66	KORDEK, STEFAN	6618 PINEVIEW TER		BRADENTON	FL	34203				1731545206	6618	PINEVIEW	TER		
67	KORZEN, SCOTT	6630 PINEVIEW TER		BRADENTON	FL	34203				1731545008	6630	PINEVIEW	TER		
68	KOSACK, RONNA S	6542 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546204	6542	FAIRWAY GARDENS	DR		
69	KURTZ, ALICE F	6507 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546907	6507	FAIRWAY GARDENS	DR		
70	LAMBERT, MARY ALLYN	6406 48TH AVENUE DR E		BRADENTON	FL	34203				1711300002	6406	48TH	AVE	E	
71	LAPERRIERE, JOSEPH G	6663 PINEVIEW TER		BRADENTON	FL	34203				1731544456	6663	PINEVIEW	TER		
72	LEGGE, NIGEL GEOFFREY	8 BURNS CRESCENT	SLEAFORD					UNITED KINGDOM	NG347GD	1731544050	6639	PINEVIEW	TER		
73	LENART, KATHY	6589 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543409	6589	FAIRWAY GARDENS	DR		
74	LEONE, JOHN A	231 13 GRANT AVE		POMPTON LAKES	NJ	07442	1107			1731546659	6516	FAIRWAY GARDENS	DR		
75	LOCKLEAR, CLYDENE M	6526 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546451	6526	FAIRWAY GARDENS	DR		
76	LOWSKY, KAREN	6522 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546600	6522	FAIRWAY GARDENS	DR		
77	MARTIN DELLO PROPERTIES LLC	207 W CONESTOGA ST		NEW HOLLAND	PA	17557				1731546253	6536	FAIRWAY GARDENS	DR		
78	MASUCCI, STEVE	6312 WESTWARD PL		UNIVERSITY PARK	FL	34201				1731544555	6665	PINEVIEW	TER		
79	MCCARTHY, THOMAS P	13 HITE CT		SCHENECTADY	NY	12303				1731546550	6524	FAIRWAY GARDENS	DR		

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	MAILING ADDR1	MAILING ADDR2	CITYNAME	ST	ZIP	+4	COUNTRY	POSTALCODE	PARID	NO	STREET	STR	DIR	UNIT
80 MCCLELLAN, WILEY H JR	6324 48TH AVENUE DR E		BRADENTON	FL	34203				1711100006	6324	48TH	AVE	E	
81 MCEL RATH, ALFRED G	1511 MEADOWOODS DR		EAST MEADOW	NY	11554				1731545156	6620	PINEVIEW	TER		
82 MCL PROPERTIES OF SARASOTA LLC	6610 37TH ST E		SARASOTA	FL	34243				1732220209	6156	SR 70		E	
83 MCLEOD, RALPH E	6229 48TH AVENUE DR E		BRADENTON	FL	34203	9544			1713600003	6229	48TH	AVE	E	
84 MEDRED, ROBERT	5972 RIVER FOREST CIR		BRADENTON	FL	34203				1729102150	5972	RIVER FOREST	CIR		
85 MELNIK, JOHN A	1590 FULLERTON DR		WATERFORD	MI	48328				1731545552	6572	FAIRWAY GARDENS	DR		
86 MERRITT, JIM R	6115 18TH AVE E		BRADENTON	FL	34208				1710600204	6112	48TH	AVE	E	
87 MILLER, RICHARD H JR	4433 COLUMBUS WAY S		SAINT PETERSBURG	FL	33712				1729102101	5976	RIVER FOREST	CIR		
88 MONTGOMERY, IRWIN	36 MEADOWVALE, WARINGSTOWN	ARMAGH, NORTH IRELAND					IRELAND	BT667RL	1731544407	6655	PINEVIEW	TER		
89 MUNRO, DAVID	5975 RIVER FOREST CIR		BRADENTON	FL	34203				1729101103	5975	RIVER FOREST	CIR		
90 MUSGRAVE, ROBERT E	4620 CRESCENT HILL DRIVE		OWENSBORO	KY	42303				1731544951	6632	PINEVIEW	TER		
91 MUZZEY, WILLIAM F	6554 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731545958	6554	FAIRWAY GARDENS	DR		
92 NAGY, DAVID	2180 REDWOOD PL		CANFIELD	OH	44406				1731545701	6560	FAIRWAY GARDENS	DR		
93 NELSON, DOUGLAS G	29 GOLF COURSE RD	BRACEBRIDGE, ONTARIO					CANADA	P1L 1M7	1731545859	6556	FAIRWAY GARDENS	DR		
94 NEVIUS, THOMAS L	6606 PINEVIEW TER		BRADENTON	FL	34203				1731545305	6602	PINEVIEW	TER		
95 NEVIUS, THOMAS L	6606 PINEVIEW TER		BRADENTON	FL	34203				1731545404	6604	PINEVIEW	TER		
96 NEVIUS, THOMAS L	6606 PINEVIEW TER		BRADENTON	FL	34203				1731545354	6606	PINEVIEW	TER		
97 NEWMAN, DALLAS P JR	6629 PINEVIEW TER		BRADENTON	FL	34203				1731543953	6629	PINEVIEW	TER		
98 NG, MABEL	100 3RD AVE 100		BRADENTON	FL	34205				1731543250	6585	FAIRWAY GARDENS	DR		

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	MAILING ADDR1	MAILING ADDR2	CITYNAME	ST	ZIP	+4	COUNTRY	POSTALCODE	PARID	NO	STREET	STR	DIR	UNIT
99 NHC-FL122 LLC	6991 EAST CAMELBACK ROAD B310		SCOTTSDALE	AZ	85251				1729000008	5100	60TH	ST	E	
100 NHC-FL129 LLC	6991 E CAMELBACK RD B-310		SCOTTSDALE	AZ	85251				1730500004	6633	SR 70		E	
101 NICKLES, WILLIAM I	6587 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543359	6587	FAIRWAY GARDENS	DR		
102 OLSEN, STEPHEN L	6023 48TH AVENUE DR E		BRADENTON	FL	34203				1712500006	6023	48TH	AVE	E	
103 ORLANDO, JANET G	6218 48TH AVENUE DR E		BRADENTON	FL	34203				1710900000	6218	48TH	AVE	E	
104 OXNER, GREGORY	PO BOX 162	CHESTER BASIN NS					CANADA	BOJ 1K0	1731546055	6546	FAIRWAY GARDENS	DR		
105 PALMA SOLA DEVELOPMENT INC	P O BOX 257		BRADENTON	FL	34206				1732217268	6020	SR 70		E	
106 PALMA SOLA DEVELOPMENT INC	P O BOX 257		BRADENTON	FL	34206				1732217359	6106	SR 70		E	
107 PARISIAN, PATRICIA ANNE	6631 PINEVIEW TER		BRADENTON	FL	34203				1731544001	6631	PINEVIEW	TER		
108 PEAK 9 PROPERTIES LLC	1776 RINGLING BLVD		SARASOTA	FL	34236				1732218159	5838	SR 70		E	
109 PEAK 9 PROPERTIES LLC	1776 RINGLING BLVD		SARASOTA	FL	34236				1732218109	5900	SR 70		E	
110 PEARMAN, HAROLD W	2004 53RD AVE E		BRADENTON	FL	34203				1729102200	5968	RIVER FOREST	CIR		
111 PECORARO, JOSEPH P	7237 ARBOR LANE		JUSTICE	IL	60458				1731543151	6594	FAIRWAY GARDENS	DR		
112 PEREZ, RAMON	6657 PINEVIEW TER		BRADENTON	FL	34203				1731544308	6657	PINEVIEW	TER		
113 PERRY, WANDA L	6530 FAIRWAY GARDENS DRIVE		BRADENTON	FL	34203				1731546303	6530	FAIRWAY GARDENS	DR		
114 PIERCE, BOB G	6608 PINEVIEW TER		BRADENTON	FL	34203				1731545255	6608	PINEVIEW	TER		
115 PPBWE ASSOCIATES LLC	30 WEXFORD GLEN		PITTSFORD	NY	14534				1731545651	6566	FAIRWAY GARDENS	DR		
116 RATCLIFFE, JAMES T	6523 48TH AVENUE DR E		BRADENTON	FL	34203				1714500004	6523	48TH	AVE	E	

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	MAILING ADDR1	MAILING ADDR2	CITYNAME	ST	ZIP	+4	COUNTRY	POSTALCODE	PARID	NO	STREET	STR	DIR	UNIT
117 REINECK, WILLIAM	6616 PINEVIEW TER		BRADENTON	FL	34203				1731545107	6616	PINEVIEW	TER		
118 RICHARDSON, THOMAS G	5967 RIVER FOREST CIR		BRADENTON	FL	34203				1729101202	5967	RIVER FOREST	CIR		
119 RINEHART, DUANE	6024 48TH AVENUE DR E		BRADENTON	FL	34203				1710600105	6024	48TH	AVE	E	
120 RIVER LANDINGS CENTRE JOINT	8210 LAKEWOOD RANCH BLVD		BRADENTON	FL	34202				1732200025		RIGHT OF WAY			
121 RIVER LANDINGS CENTRE WEST ASSOCIATION	7150 ESTERO BLVD UNIT 501		FORT MYERS BEACH	FL	33931				1732218209		NO ASSIGNED ADDRESS			
122 RUCKER, ELSY	8724 54TH AVE E		BRADENTON	FL	34211				1732217458	6120	SR 70		E	
123 RUST, JILL L	6667 PINEVIEW TER		BRADENTON	FL	34203				1731544605	6667	PINEVIEW	TER		
124 SAMUELSON, NANCY	6503 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546956	6503	FAIRWAY GARDENS	DR		
125 SAVOY, KEVIN P	7282 55TH AVE E		BRADENTON	FL	34203				1731545750	6564	FAIRWAY GARDENS	DR		
126 SCHLINK, CAROLE I	277 SANDHURST DR		RICHMOND HILL	GA	31324				1731544753	6644	PINEVIEW	TER		
127 SCHNABL, CARL J	6330 48TH AVENUE DR E		BRADENTON	FL	34203				1711310050	6330	48TH	AVE	E	
128 SCHNEIDER, LARRY W	308 VISTA CT		PLAINFIELD	IN	46168				1731546808	6512	FAIRWAY GARDENS	DR		
129 SCHOOL BOARD OF MANATEE COUNTY	PO BOX 9069		BRADENTON	FL	34206				1729200059	6545	SR 70		E	
130 SELIG, JAMES KEVIN	6574 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731545453	6574	FAIRWAY GARDENS	DR		
131 SHARP, RUTH M	6627 PINEVIEW TER		BRADENTON	FL	34203				1731543854	6627	PINEVIEW	TER		
132 SHELL DEVITO, VIRGINIA	6625 67TH CT E		BRADENTON	FL	34203	9747			1731543755	6582	FAIRWAY GARDENS	DR		
133 SHINNEMAN, JERRY D	6106 48TH AVENUE DR E		BRADENTON	FL	34203				1710600154	6106	48TH	AVE	E	
134 SIMMONS, MARY JO	6581 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543607	6581	FAIRWAY GARDENS	DR		
135 SINKLER, GAYLAND D	6506 48TH AVENUE DR E		BRADENTON	FL	34203				1711400000	6506	48TH	AVE	E	

Parcel Owners With In a 500 Foot Buffer Around a Parcel

	OWNER	MAILING ADDR1	MAILING ADDR2	CITYNAME	ST	ZIP	+4	COUNTRY	POSTALCODE	PARID	NO	STREET	STR	DIR	UNIT
136	SLOWIK, SHERRY L	6643 PINEVIEW TER		BRADENTON	FL	34203				1731544209	6643	PINEVIEW	TER		
137	STERRETT, THOMAS B	5955 RIVER FOREST CIR		BRADENTON	FL	34203				1729101350	5955	RIVER FOREST	CIR		
138	STIFFLER, CHRISTINE N	8421 SEATON PL		MENTOR	OH	44060				1731543508	6583	FAIRWAY GARDENS	DR		
139	SYLROD LLC	1188 PORT REPUBLIC RD		HARRISONBURG	VA	22801				1731544704	6640	PINEVIEW	TER		
140	SYNOVUS BANK OF TAMPA BAY	333 THIRD AVE N	STE 200	SAINT PETERSBURG	FL	33701				1730500179	6705	SR 70		E	
141	TALCOTT, CHARLES A	6532 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546402	6532	FAIRWAY GARDENS	DR		
142	TAYLOR, KAREN T	6590 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543102	6590	FAIRWAY GARDENS	DR		
143	THOMAS, RICHARD L	6641 PINEVIEW TER		BRADENTON	FL	34203				1731544159	6641	PINEVIEW	TER		
144	TIITF/STATE OF FL DEPT OF EDUCATION	3900 COMMONWEALTH BLVD		TALLAHASSEE	FL	32399				1729200019		NO ASSIGNED ADDRESS			
145	TROMBLE LAND COMPANY LLC	6310 MANASOTA KEY RD		ENGLEWOOD	FL	34223				1731500109	6310	SR 70		E	
146	TUMOLO, EDWARD V IV	6117 48TH AVENUE DR E		BRADENTON	FL	34203	3976			1713100004	6117	48TH	AVE	E	
147	TYLER, BARBARA V	6505 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731547004	6505	FAIRWAY GARDENS	DR		
148	VALCO3 LLC	6148 SR 70 E		BRADENTON	FL	34203				1732220109	6148	SR 70		E	
149	VINSON, TERRY M	6005 48TH AVENUE DR E		BRADENTON	FL	34203				1712300001	6005	48TH	AVE	E	
150	WALLACE, JAMES MACAULAY JR	PO BOX 1889		BRADENTON	FL	34206				1714100109	6405	48TH	AVE	E	
151	WALLIS, JACK	6017 48TH AVENUE DR E		BRADENTON	FL	34203				1711700003	6017	48TH	AVE	E	
152	WAUGH, ROBERT M	6544 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731546154	6544	FAIRWAY GARDENS	DR		
153	WELLS, JEANIE M	6512 48TH AVENUE DR E		BRADENTON	FL	34203				1730610100	6620	48TH	AVE	E	
154	WICKMANN, JUDITH C	6579 FAIRWAY GARDENS DR		BRADENTON	FL	34203				1731543557	6579	FAIRWAY GARDENS	DR		
155	WISE FAMILY ENTERPRISES LLP	7508 COVE TER		SARASOTA	FL	34231				1732220059	6146	SR 70		E	

Parcel Owners With In a 500 Foot Buffer Around a Parcel

	OWNER	MAILING ADDR1	MAILING ADDR2	CITYNAME	ST	ZIP	+4	COUNTRY	POSTALCODE	PARID	NO	STREET	STR	DIR	UNIT
156	YOUNT, RUSSELL R	6645 PINEVIEW TER		BRADENTON	FL	34203				1731544100	6645	PINEVIEW	TER		

MANATEE COUNTY GOVERNMENT

AGENDA MEMORANDUM

4

SUBJECT	R-10-090 MTI – Caruso Road School Site (SSP-10-01)	TYPE AGENDA ITEM	Advertised Public Hearing – Presentations Upon Request
DATE REQUESTED	06/03/10	DATE SUBMITTED/REVISED	05/24/10
BRIEFINGS? Who?	None	CONSEQUENCES IF DEFERRED	N/A
DEPARTMENT/DIVISION	Planning / Development Review	AUTHORIZED BY TITLE	John Osborne, Director <i>RS for</i>
CONTACT PERSON TELEPHONE/EXTENSION	Sharon Tarnan / 748-4501 ext. 6863 DTS#20100022	PRESENTER/TITLE TELEPHONE/EXTENSION	Sharon Tarnan / Planner / 748-4501 ext. 6863
ADMINISTRATIVE APPROVAL			

ACTION DESIRED INDICATE WHETHER 1) REPORT; 2) DISCUSSION; 3) FORM OF MOTION; OR 4) OTHER ACTION REQUIRED
I move to APPROVE R-10-090 per the recommended motion in the staff report attached to this memo.

ENABLING/REGULATING AUTHORITY Federal/State law(s), administrative ruling(s), Manatee County Comp Plan/Land Development Code, ordinances, resolutions, policy
Manatee County Comprehensive Plan and Manatee County Land Development Code.

BACKGROUND/DISCUSSION
<ul style="list-style-type: none"> The request is for the approval of a School Site Plan (SSP-10-01) for a proposed school site. The proposed school will cover 29.9 acres. The proposed school is MTI (215,000 sq. ft. with a future expansion of 35,000 sq. ft.). This school site has an approved General School Site Plan (GSP-10-01). Staff recommends approval. <div style="text-align: right; margin-top: 20px;"> <p>APPROVED IN OPEN SESSION</p> <p>JUN 03 2010</p> <p><small>BOARD OF COUNTY COMMISSIONERS MANATEE COUNTY, FLORIDA</small></p> </div>

COUNTY ATTORNEY REVIEW	
Check appropriate box	
<input checked="" type="checkbox"/>	REVIEWED Written Comments: <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Available from Attorney (Attorney's initials: SAS)
<input type="checkbox"/>	NOT REVIEWED (No apparent legal issues.)
<input type="checkbox"/>	NOT REVIEWED (Utilizes exact form or procedure previously approved by CAO.)
<input type="checkbox"/>	OTHER

ATTACHMENTS: (List in order as attached)		INSTRUCTIONS TO BOARD RECORDS:	
Staff Report for SSP-10-01		Please forward a copy of the executed document to Bobbi Roy / Planning Department.	
COST:	n/a	SOURCE (ACCT # & NAME):	n/a
COMMENTS:		AMT./FREQ. OF RECURRING COSTS: (ATTACH FISCAL IMPACT STATEMENT)	

B.O.C.C. 06/03/2010

SSP-10-01 MTI –
CARUSO ROAD SCHOOL SITE (DTS #20100101)

A Resolution of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a School Site Plan submitted by the Manatee County School Board – MTI Caruso Road School Site on approximately 29.9 ± acres, located approximately 545 ± feet east of the northeast corner of S.R. 70 and Caruso Road at 6545 SR 70 East, Bradenton; providing for development standards and conditions setting forth findings; providing for severability, and providing for an effective date.

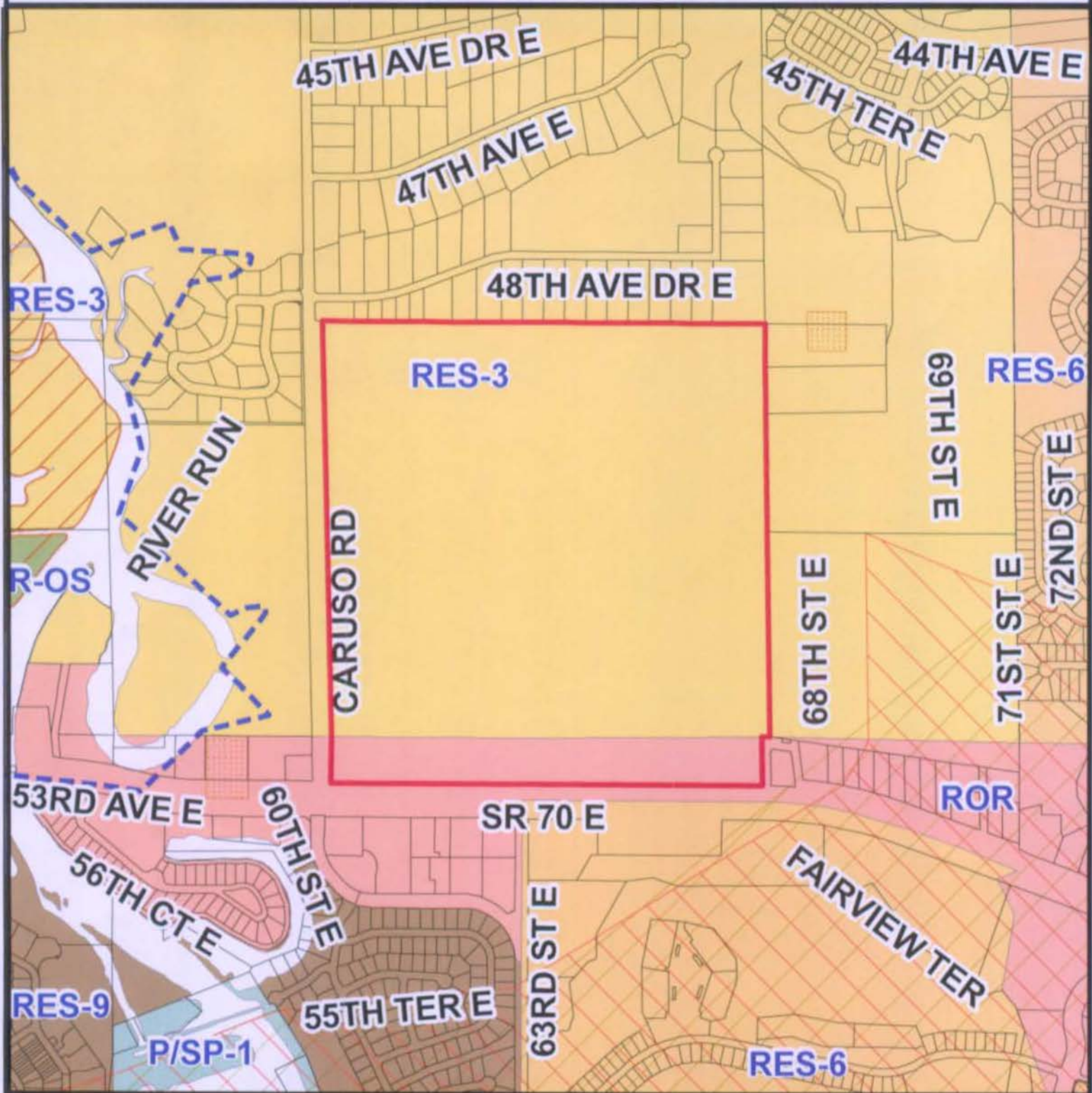
B.O.C.C.: 06/03/2010

RECOMMENDED MOTION:

Based upon the staff report, evidence presented, comments made at the Public Hearing, I move to APPROVE School Site Plan No. SSP-10-01 by the adoption of Resolution No. R-10-090, as recommended by staff.

(COMMISSIONER HAYES)

FUTURE LAND USE



Parcel ID #(s) 1729200059

Project Name: MC School Board - Caruso Rd School Site
 Project #: SSP-10-01 / R-10-061
 DTS#: 20100022
 Proposed Use: General Plan of School Site

S/T/R: Sec 15,14,10,11 Twn 35 Rng 18
 Acreage: 191.66 Total (GSP is on 75.84 acres)
 Existing Zoning: A
 Existing FLU: ROR, RES-3
 Overlays: NONE
 Special Areas: NONE

CHH: NONE
 Watershed: NONE
 Drainage Basin: LOWER BRADEN R, WILLIAMS CREEK
 Commissioner: Donna Hayes



Manatee County
 Staff Report Map
 Map Prepared 2/8/2010
 1 inch = 872 feet

ZONING



Parcel ID #(s) 1729200059

Project Name: MC School Board - Caruso Rd School Site
 Project #: SSP-10-01 / R-10-061
 DTS#: 20100022
 Proposed Use: General Plan of School Site

S/T/R: Sec 15,14,10,11 Twn 35 Rng 18
 Acreage: 191.66 Total (GSP is on 75.84 acres)
 Existing Zoning: A
 Existing FLU: ROR, RES-3
 Overlays: NONE
 Special Areas: NONE

CHH: NONE
 Watershed: NONE
 Drainage Basin: LOWER BRADEN R, WILLIAMS CREEK
 Commissioner: Donna Hayes



Manatee County
 Staff Report Map
 Map Prepared 2/8/2010
 1 inch = 872 feet

AERIAL



Parcel ID #(s) 1729200059

Project Name: MC School Board - Caruso Rd School Site
 Project #: SSP-10-01 / R-10-061
 DTS#: 20100022
 Proposed Use: General Plan of School Site

S/T/R: Sec 15, 14, 10, 11 Twn 35 Rng 18
 Acreage: 191.66 Total (GSP is on 75.84 acres)
 Existing Zoning: A
 Existing FLU: ROR, RES-3
 Overlays: NONE
 Special Areas: NONE

CHH: NONE
 Watershed: NONE
 Drainage Basin: LOWER BRADEN R, WILLIAMS CREEK
 Commissioner: Donna Hayes



Manatee County
 Staff Report Map

Map Prepared 2/8/2010

1 inch = 872 feet

PROJECT SUMMARY	
CASE#	SSP-10-01 (DTS # 20100101)
PROJECT NAME	MTI (Manatee Technical Institute) – Caruso Road School Site
APPLICANT(S):	Manatee County School Board
EXISTING ZONING:	A (General Agriculture)
PROPOSED USE(S):	Educational facility (MTI consisting of 215,000 sq. ft with a potential expansion of 35,000 sq. ft.)
CASE PLANNER:	Sharon Tarman
STAFF RECOMMENDATION:	APPROVAL
DETAILED DISCUSSION	
<p>In Ordinance 09-59 (adopted November 3, 2009), the Manatee County Board of County Commissioner adopted new regulations to govern the submittal and review of the development of school sites. The Land Development Code was amended to include these regulations in LDC Sections 520, School Site Plan, and 521, General School Plan.</p> <p>The Manatee County School Board requests approval of a School Site Plan for a portion (29.9 ± acres) of the 191.66 acre site where Braden River High School is located. Manatee Technical Institute (MTI) will consist of 215,000 sq. ft. with a future expansion of up to 35,000 sq. ft. and is proposed south of the Braden River High School.</p> <p>The entire site obtained approval from the Board of County Commissioners on April 13, 2010 for a General School Site Plan (GSP-10-01) which included a K-8 school north of the Braden River High School. However, this School Site Plan is for approval of the MTI site only.</p> <p>The site is currently zoned A (General Agriculture) and has access to three roadways: SR 70, Caruso Road, and 66th Street East. The roadways are identified in the Comprehensive Plan for Year 2030 as the following: 1) S. R. 70, six lane Arterial, 2) Caruso Road (60th St. E.) four lane Collector, 3) 66th Street East, a local street. The site will also be interconnected to the existing Braden River High School.</p> <p>Staff recommends approval of the School Site Plan SSP-10-01.</p>	

SITE CHARACTERISTICS AND SURROUNDING AREA	
ADDRESS:	6545 SR 70 East, Bradenton
GENERAL LOCATION:	Northeast corner of S.R. 70 and Caruso Road (60th St. E.) MTI will be south of the Braden River High School
SIZE:	29.9 ± acres of a 191.66 acre site
EXISTING USE(S):	Vacant
FUTURE LAND USE CATEGORY:	RES-3 (Residential, 3 du/ac per gross acre) ROR (Retail/Office/Residential)
FLOOR AREA RATIO (F.A.R.):	RES-3 - 0.23 maximum FAR ROR – 0.35 maximum FAR
SPECIAL APPROVAL(S):	None
OVERLAY DISTRICT(S):	None
SPECIFIC APPROVAL(S):	None

SURROUNDING USES & ZONING	
NORTH	Braden River High School zoned A (General Agriculture).
SOUTH	Across SR 70 is Fairway Gardens at Tara, a Condominium zoned PDR, and River Landings Centre and a Taco Bell/Long John Silvers restaurant with a drive-through, zoned PDC.
EAST	Pleasant Lakes zoned PDRV (Planned Development Recreational Vehicle), Campbell Subdivision zoned GC (General Commercial), Crossing Creek zoned PDR and single family homes zoned A-1.
WEST	Across Caruso Road is a Circle K and a strip

	shopping center zoned GC, Horseshoe Cove zoned PDRV, and River Forest Subdivision zoned PDR.	
SITE DESIGN DETAILS		
LOT SIZE(S):	29.9 ± acres	
SETBACKS:	Front	50'
	Side	10'
	Rear	25'
OPEN SPACE:	Not required for A (General Agriculture) zoned property.	
BUFFERS:	20' wide roadway buffer along SR 70	
ACCESS:	<ul style="list-style-type: none"> • SR 70 • Caruso Road (60th St. E.) • 66th Street East 	
FLOOD ZONE(S)	X per FIRM Panel 120153-0353C (1992)	
AREA OF KNOWN FLOODING	No	
UTILITY CONNECTIONS	36" water main along S.R. 70 12" water main along Caruso Road (60 th St. E.) 6" sewer force main along S.R. 70 and Caruso Road (60 th St. E.)	
WETLAND ACREAGE & IMPACTS		
Overall Wetland Acreage:	0.67 ± acres of the 29.9 ± acres	
Proposed Impact Acreage:	None	
<p><u>Wetlands</u></p> <p>There are 0.67± acres of wetlands onsite. No wetland/buffer impacts are proposed.</p> <p>Prior to occupancy of the building, conservations easements for wetlands and wetland buffers shall be dedicated to Manatee County in accordance with Section 719.11.1.3 of the LDC.</p>		

Upland Habitat

There are no native upland habitats within this project area.

Threatened and Endangered Species

A listed species evaluation has been conducted and none were observed on this site.

Trees

There are 205 existing trees onsite. The applicant is preserving 65 trees. 143 trees will be provided as replacements trees (in accordance with Section 714 of the LDC).

The ± 9.4 acre heavily forested area north of SR 70 is classified as “tree crops”. Plantation pines are exempt from LDC Section 714 tree replacement requirements. The calculations noted above do not include planted pines.

Water Quality/Contamination

Erosion and sediment control information was not provided for review with this School Site Plan. It is our understanding that erosion control details will be reviewed by SWFWMD.

NEARBY DEVELOPMENT

RESIDENTIAL				
PROJECT	LOTS / UNITS	DENSITY	FLUC	APPROVED
Marshall's Landing	38	2.16	ROR	2004
Crossing Creek Village	210	1.73	RES-3	2003
Dude Ranch Acres	48	3.6	RES-3	1960
Horseshoe Cove RV Park	505	11.9	RES-3	1979
River Forest	26	0.97	RES-3	1996

NON-RESIDENTIAL				
PROJECT	SQ. FT	FAR	FLUC	APPROVED
Braden River High School	423,000 (2,000 students)	0.011	RES-3	2003
Campbell Subdivision	15 Lots	0.35 max	ROR	1977
River Landings Center (PDC-89-04)	149,550	0.35 max	ROR	1989
River Landing Center II & III	108,029	0.35 max	ROR	1998
Taco Bell/Long John Silvers	3,000	0.35 max	ROR	2006
POSITIVE ASPECTS				
<ul style="list-style-type: none"> The MTI site is located on S.R. 70 away from residential uses to the north (2,000+ ft.), east (1,000+ ft.), and west (700+ ft.) of the overall site which will reduce any adverse impacts. The proposed internal traffic circulation encourages traffic to move through the site instead of returning to S.R. 70 or Caruso Road (60th St. E.) to access another portion/area of the site (i.e. existing high school). 				
NEGATIVE ASPECTS				
<ul style="list-style-type: none"> The request will increase traffic on S.R. 70 and Caruso Road (60th St. E.). 				
MITIGATING MEASURES				
<ul style="list-style-type: none"> The driveway access to S.R. 70 shall comply with FDOT requirements. 				

STAFF RECOMMENDED STIPULATIONS

A. NATURAL RESOURCES

- 1. An ERP approved by SWFWMD shall be provided to NRD for review prior to commencement of construction.**
- 2. Two separate inspections by NRD staff are required prior to authorization of construction and/or land clearing activities:**
 - The applicant is authorized to stake erosion and sediment control (ESC) device and tree barricade locations. After staking ESC measures, NRD staff must be contacted to inspect the staked locations.**
 - After the installation of ESC devices and tree barricades have been completed, a second inspection is required to ensure adequacy.**
 - The contractor's name and contact information shall be provided to NRD staff prior to commencement of construction.**
- 3. The following items must be completed in accordance with the approved School Board Site and inspected by NRD staff prior to occupancy:**
 - Nuisance, exotic plant species removal in accordance with the approved Landscape Plans. Ongoing management events shall provide for the continues removal of nuisance species that become re-established within open spaces for the life of the project.**
 - Wetland buffer restoration, in accordance with the WilsonMiller plan submitted 4/8/10.**
 - Conservation Easement area sign installation (locations and details are subject to NRD staff approval).**
 - Dedication of Conservation Easement to Manatee County for the areas defined as post-development jurisdictional wetlands and wetland buffers.**

B. HEALTH DEPARTMENT

- 1. A permit for the water distribution system is required from the Health Department prior to start of construction.**
- 2. The primary licensing agency for *public* schools is the Department of Education and the local School Board. Their approval of this project is required. *All* school plants must conform to 64E-13, Florida Administrative Code. In addition, any school that serves food must meet the requirements of Chapter 64E-11, Florida Administrative Code prior to**

licensure. Prior to construction, plans of the facility and its operation shall be submitted to and approved by the Manatee County Health Department. Plans may be submitted by the owner, prospective operator or their designated representative. All plans shall comply with the requirements of this chapter.

C. STORMWATER MANAGEMENT

1. A copy of the Construction Plans and drainage calculations shall be provided to the Stormwater Management Division when application is made to SWFWMD.

REMAINING ISSUES OF CONCERN – NOT RESOLVED

None

COMPLIANCE WITH LAND DEVELOPMENT CODE

SECTION 520 – SCHOOL SITE PLANS FOR EDUCATIONAL FACILITIES

1. COMPATIBILITY

The overall 191.66 acre site fronts SR 70 to the south and Caruso Road to the west. Braden River High School is currently located on the site.

Dude Ranch Acres is north of the site, north and adjacent to the proposed K-8 school, and has A-1 zoning. Across Caruso Road is a Circle K and a strip shopping center, zoned GC (General Commercial). Horseshoe Cove, zoned PDRV, is to the north of the Circle K. River Forest Subdivision zoned PDR is north of Horseshoe Cove.

This segment of SR 70 includes PDC zoning consisting of River Landings Centre, Taco Bell, and Long John Silvers and PDR with the Fairway Gardens at Tara, a condominium.

The east side of the 191.66 acre site abuts GC (Campbell Subdivision), PDRV (Pleasant Lakes RV Park), PDR (Crossing Creek), and A-1 (single family homes) zoning.

A technology school (MTI) is a residential support use and is found to be compatible with surrounding land uses and zoning.

2. TIMING, TRENDS CHANGES TO EXISTING CONDITIONS

The site has been zoned A since the adoption of the 1990 Land Development Code.

The proposed technical school complies with the underlying RES-3 FLUC and the A zoning.

The surrounding FLUCs are RES-3 and ROR.

3. IMPACTS TO INFRASTRUCTURE

Water and sewer are available.

Access is subject to FDOT permitting along SR 70.

4. GENERAL HEALTH, SAFETY, AND WELFARE CONCERNS

Approval of this School Site Plan has no negative impact on the public health, safety, and welfare in this location.

5. ENVIRONMENTAL AND HISTORIC RESOURCE IMPACTS

There are 0.67± acres of wetlands onsite. No wetland/buffer impacts are proposed.

Prior to occupancy of the building, conservation easements for wetlands and wetland buffers shall be dedicated to Manatee County in accordance with Section 719.11.1.3 of the LDC.

COMPLIANCE WITH COMPREHENSIVE PLAN

The site is in the RES-3 (Residential 3 dwelling units per gross acre) and the ROR (Retail/Office/Residential) Future Land Use Categories. A list of Comprehensive Plan Policies applicable to this request is attached. This project was specifically reviewed for compliance with the following policies:

Policy 2.1.2.7 Appropriate Timing. The timing is appropriate given development trends in the area. There are commercial uses to the south, east, and west of the site along with the Creekwood Commercial and commercial components of the Tara DRI (Development of Regional Impact). Schools are a residential support use.

Policy 2.2.1.12.1 Intent. The site is intended for educational facilities which are an allowable use within the existing FLUCs of RES-3 (3 dwelling units per gross acre and 6 dwelling units per net) and ROR (Retail/Office/Residential).

Policy 2.2.1.12.2 Range of Potential Uses. Educational facilities (residential support uses)

are in the range of potential uses.

Policy 2.6.1.1 Compatibility. The School Site Plan design is compatible with surrounding development.

Policy 12.1.2.1 Guidelines for future school sites. The School Site Plan demonstrates the location, phasing, and development of the proposed MTI.

Policy 12.1.2.2 Proposed public school facility sites are consistent with applicable land use designations of the Comprehensive Plan. MTI is an allowable use within the land use designations.

Policy 12.1.3.2 New and proposed school site shall be compatible with existing and anticipated uses on adjacent properties based on the type of school and the type of facilities proposed for the site. The MTI site will take access from SR 70 which is a roadway classified as a Principal Arterial.

CONCURRENCY

CLOS APPLIED FOR: Y X N ____

TRAFFIC STUDY REQ'D: Y X N ____

REQUIRED IMPROVEMENTS:

The applicant will signalize the intersection of SR 70 and 66th St E when FDOT required signal warrants are met and approved by FDOT.

***Note:** The intersection of the MTI entrance and SR 70, right-in/right-out with an eastbound channelized left-turn lane, is subject to FDOT approval.

The project will connect to wastewater and potable water.

ATTACHMENTS

1. Applicable Comprehensive Plan Policies
2. Copy of Newspaper Advertising
3. Resolution R-10-090

APPLICABLE COMP PLAN POLICIES

Policy:	2.1.2.7	<p>Review all proposed development for compatibility and appropriate timing. This analysis shall include:</p> <ul style="list-style-type: none"> - consideration of existing development patterns, - types of land uses, - transition between land uses, - density and intensity of land uses, - natural features, - approved development in the area, - availability of adequate roadways, - adequate centralized water and sewer facilities, - other necessary infrastructure and services. - limiting urban sprawl - applicable specific area plans - (See also policies under Objs. 2.6.1 - 2.6.3)
Policy:	2.2.1.10	RES-3: Establish the Residential-3 Dwelling Units/Gross Acre future land use category as follows:
Policy:	2.2.1.10.1	<p>Intent: To identify, textually in the Comprehensive Plan's goals, objectives, and policies, or graphically on the Future Land Use Map, areas which are established for a moderate-density suburban, or a clustered low density urban, residential environment. Also, to provide a complement of residential support uses normally utilized during the daily activities of residents of these moderate density suburban, or low density urban areas.</p>
Policy:	2.2.1.10.2	<p>Range of Potential Uses (see Policies 2.2.1.5, 2.1.2.3 - 2.1.2.7): Suburban or urban residential uses, neighborhood retail uses, short-term agricultural uses other than special agricultural uses, agriculturally-compatible residential uses, public or semi-public uses, schools, low-intensity recreational uses, and appropriate water-dependent/water-related/water enhanced uses (see also Objectives 4.2.1 and 2.10.4).</p>
Policy:	2.2.1.10.3	<p>Range of Potential Density/Intensity:</p> <p>Maximum Gross Residential Density:</p>

		<p>3 dwelling units per acre</p> <p>Maximum Net Residential Density:</p> <p>6 dwelling units per acre</p> <p>(except within the WO or CHHA Overlay</p> <p>Districts, pursuant to Policies 2.3.1.5 and 4.3.1.5)</p> <p>Maximum Floor Area Ratio:</p> <p>0.23 (0.35 for mini-warehouse uses only)</p> <p>Maximum Square Footage for Neighborhood</p> <p>Retail Uses: Medium (150,000sf)</p>
Policy:	2.2.1.10.4	<p>Other Information:</p> <p>a) All mixed and multiple-use projects require special approval, as defined herein, and as further defined in any land development regulations developed pursuant to § 163.3202, F.S.</p> <p>b) All projects for which gross density exceeds 2.0 dwelling units per acre, or in which any net residential density exceeds 3 dwelling units per acre, shall require special approval.</p> <p>c) Any nonresidential project exceeding 30,000 square feet of gross building area shall require special approval.</p>
Policy:	2.2.1.17	R/O/R: Establish the Retail/Office/Residential future land use category as follows:
Policy:	2.2.1.17.1	<p>Intent: To identify, textually in the Comprehensive Plan's goals, objectives, and policies, or graphically on the Future Land Use Map, areas which are established and developed areas exhibiting a broad range of commercial, residential and, in certain cases, light industrial uses, and to recognize the continued existence of such areas through the long range planning timeframe. Also, to provide for orderly transition from, or redevelopment of, these existing and developed multiple-use areas. Also, to prohibit the intrusion of new industrial areas into these ROR areas, which typically fail to exhibit a planned or integrated approach to multiple use development, and instead exhibit an incremental or unplanned history of multiple use development. Also to establish at a few major and highly accessible, but currently undeveloped, sites for the development of major future</p>

		community or region-serving commercial uses with a variety and permitted intensity of use which allows for a multi-purpose commercial and office node, with residential uses. Also, to provide incentives for, encourage, or require the horizontal or vertical integration of various residential and non-residential uses within these areas, achieving internal trip capture, and the development of a high quality environment for living, working, or visiting.
Policy:	2.2.1.17.2	Range of Potential Uses (see Policies 2.1.2.3 - 2.1.2.7, 2.2.1.5): Retail, wholesale or office commercial uses which function in the market place as neighborhood, community, or region-serving. Also residential uses, lodging places, public or semi-public uses, schools, recreational uses, appropriate water-dependent/ water-related/water-enhanced uses (see also Objectives 4.2.1 and 2.10.4), and short-term agricultural uses.
Policy:	2.2.1.17.3	<p>Range of Potential Density/Intensity:</p> <p>Maximum Gross Residential Density:</p> <p>For development existing at time of plan adoption or treated as a special exception under this Comprehensive Plan - 16 dwelling units per acre</p> <p>For new development -</p> <p>9 dwelling units per acre</p> <p>Maximum Net Residential Density:</p> <p>For development existing at time of plan adoption or treated as a special exception under this Comprehensive Plan -</p> <p>20 dwelling units per acre</p> <p>For new development -</p> <p>16 dwelling units per acre</p> <p>Maximum Floor Area Ratio: 0.35</p> <p>Maximum Floor Area Ratio in the Urban Area: .50</p> <p>Maximum Square Footage for Neighborhood, Community, or Region-Serving Uses: Large 300,000sf</p>
Policy:	2.2.1.17.4	<p>Other Information:</p> <p>a) All mixed and multiple-use projects shall require special approval, as defined herein, and as further</p>

defined in any land development regulations developed pursuant to § 163.3202, F.S.

- b) All projects for which either gross residential density exceeds 6 dwelling units per acre, or for which any net residential density exceeds 9 units per acre, shall require special approval.
- c) All non-residential projects, or part thereof, exceeding 0.25 FAR shall also require special approval except mini-warehouse.
- d) Non-residential projects exceeding 150,000 square feet gross building area may be considered only if consistent with the requirements for large commercial uses, as described in this element.
- e) In areas where existing development is recognized utilizing the Retail/Office/Residential category, or where the spatial form of the Retail/Office/Residential designation on the Future Land Use map is accordingly inconsistent with the commercial locational criteria contained in this element; development or redevelopment within the area designated under this category shall not be required to achieve compliance with the commercial locational criteria described in Sections 2.10.4.1 and 2.10.4.2 of this element. However, any such development or redevelopment shall still be required to achieve compliance with other commercial development standards contained in this element, and be consistent with other goals, objectives, and policies in this Comprehensive Plan (see also 2.10.4.2).
- f) In areas where the Retail/Office/Residential category is designated in a manner entirely consistent with the commercial locational criteria, all commercial development or redevelopment shall be conducted in a manner consistent with the commercial location criteria and development standards contained in this element.
- g) In order to distinguish between uses which may be permitted in the R/O/R category, as compared to those which require siting within an industrial category, the following guidelines shall be utilized:

- I. No uses which have a primary purpose of distribution of goods from that site shall be permitted in the Retail/ Office/ Residential designation.
- II. No new areas (a new area, for the purposes of this policy, shall be defined as property beyond those parcel configurations as of May 11, 1989 which had light industrial uses established upon them) engaging in the manufacturing, processing, and assembly of goods shall be permitted in the Retail/Office/ Residential designation except as provided below:
- III. Legally established light industrial uses existing prior to the adoption of this Comprehensive Plan shall be considered legally conforming uses, limited to their approved location. With special approval, other light industrial uses and additional square footage within the same parcel may be approved if there are no additional impacts to adjoining properties and all special approval criteria are met.
- iv. If a legally established light industrial use ceases operation for over six months with no action to re-establish and/or continue such use, the use shall now be prohibited from development within the R/O/R designation.

Policy: 2.6.1.1

Require all adjacent development that differs in use, intensity, height, and/or density to utilize land use techniques to mitigate potential incompatibilities. Such techniques shall include but not be limited to:

- use of undisturbed or undeveloped and landscaped buffers
- use of increased size and opacity of screening
- increased setbacks
- innovative site design (which may include planned development review)
- appropriate building design
- limits on duration/operation of uses
- noise attenuation techniques

		- limits on density and/or intensity [see policy 2.6.1.3]
Policy:	2.6.5.5	<p>Maximize the conservation and/or protection of public or private open space, including common open space, through the land development process by requiring that minimum percentages of the upland area on any project be maintained as undisturbed or landscaped areas.</p> <p>Land uses within the Watershed Overlay District shall meet additional requirements required by the Comprehensive Plan (See also Policy 2.2.2.2.5)</p>
Policy:	2.13.1.3	New and proposed school sites shall be compatible with existing or anticipated uses on adjacent properties based upon the type of school, i.e., elementary, middle, or high school or school of special education, and the type of school facilities proposed for the site.
Policy:	2.13.1.4	Environmental concerns and traffic patterns shall be considered during school site selection to ensure compatibility with on site and adjacent natural features and the health and safety of students and local motorists.
Policy:	2.13.2.2	New and proposed schools shall locate in areas where adequate public facilities, e.g., roads, potable water and sanitary sewer, exist or where adequate facilities are budgeted for in the appropriate Capital Improvements Program, except in cases of overriding public interest, as determined by the Board of County Commissioners or where any entity installs or constructs the necessary public facilities in conjunction with the construction of the school.
Policy:	12.1.2.1	<p>Manatee County shall coordinate with the School Board to pursue the development of mutually acceptable guidelines for the selection of future school sites including but not limited to:</p> <ul style="list-style-type: none"> • Acquisition of school sites which allow for future expansions to accommodate future enrollment and other facility needs deemed beneficial for joint-uses. • Coordination of the location, phasing, and development of future school sites to ensure that site development occurs in conjunction with the provision of infrastructure to serve the school facility. • Identification of appropriate and inappropriate land use

categories.

- | | | |
|---------|----------|--|
| Policy: | 12.1.2.2 | The School Board and Manatee County shall coordinate to ensure that proposed public school facility sites are consistent with the applicable land use designations of the Comprehensive Plan, as well as the appropriate Land Development regulations. |
| Policy: | 12.1.3.2 | New and proposed school sites shall be compatible with existing or anticipated uses on adjacent properties based on the type of school and the type of facilities proposed for the site. |

Bradenton Herald

NOTICE OF ZONING AND DRI CHANGES IN UNINCORPORATED MANATEE COUNTY

NOTICE IS HEREBY GIVEN that the Board of County Commissioners of Manatee County will conduct a Public Hearing on **Thursday, June 3, 2010, at 9:00 A.M.** at the Manatee County Government Administrative Center, 1st Floor Chambers, to consider and act upon the following matters:

Z-10-02 - GERALD L. SAPP/GS DEVELOPMENT REZONE (DTS # 20100059)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, amending the official zoning atlas (Ordinance No. 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezoning of approximately 4.06 acres on the northeast corner of U.S. 41 (1st Street East) and 30th Avenue East, at 2915 and 2929 1st St. E., Bradenton, from PDC (Planned Development Commercial) to the GC (General Commercial) zoning district; setting forth findings; providing a legal description; providing for severability; and providing an effective date.

PDR-06-69(Z)(P) - CNL BANK / BAYOU POINTE ESTATES (DTS #20080384)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezoning of ± 22.00 acres on the south side of 25th Street East (Lynntor Road), approximately 1,800 feet east of 80th Avenue East (Royal Palm Way), and North of the Manatee River at 8923 & 8955 25th Street East (Lynntor Road), Parrish from A/NCO (General Agriculture/North Central Overlay) and A/CH/NCO (General Agriculture/Coastal High Hazard Overlay/North Central Overlay) to the PDR/NCO (Planned Development Residential/North Central Overlay) and PDR/CH/NCO (Planned Development Residential/Coastal High Hazard/North Central Overlay Districts) zoning districts; and approval a Preliminary Site

detached residences; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability; and providing an effective date

PDMU-97-05(P)(R4) - ELLENTON ICE & SPORTS COMPLEX (FKA JP IGLOO) (DTS#20100036)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding Land Development, amending Ordinance PDMU-97-05(P)(R3) pertaining to stipulations of approval regarding signs to allow a replacement message center sign for the Ellenton Ice & Sports Complex (fka JP Igloo), providing for Specific Approvals as applicable, approving a replacement message center sign. Ellenton Ice & Sports Complex is generally located northeast of I-75 and US-301, off of 29th Street East at 5309 29th Street East (9.59 \pm acres), Ellenton; subject to stipulations as conditions of approval; setting forth findings; providing for severability; and providing an effective date.

PDMU-06-28(Z)(P) - CHAMAX, LLC/SWEETWATER PRESERVE (DTS#20050289)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas of Manatee County, Ordinance No. 90-01 (the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for the rezoning of approximately 824.15 acres north of Buckeye Road, west of Interstate 75, and extending north to the Hillsborough County line from the A (General Agriculture) zoning district to the PDMU (Planned Development Mixed Use) zoning district; approving a Preliminary Site Plan for 1,719 residential units consisting of: 833 lots for single-family detached residences, 678 lots for single-family attached residences, 208 multi-family units, 150,000 square feet of commercial space, and a 208-acre public park; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability; and providing an effective date.

R-10-043 - SWEETWATER PRESERVE GATEWAY / CHAMAX, LLC (DTS#20100007) - PDMU-10-02(G)

Copy of Newspaper Advertis

A Resolution of the Board of County Commissioners of Manatee County, Florida regarding land development, approving a Gateway Master Plan for a project previously proposed as "Sweetwater Preserve" on property generally located north of Buckeye Road, west of I-75, and extending north to the Hillsborough

County line, consisting of approximately 824 acres within the North County Gateway Overlay District; providing for specific approval regarding building setbacks and height; providing for conditions of approval; setting forth findings; providing for severability and providing for an effective date.

ORDINANCE 10-47 - DRI # 24 HERITAGE HARBOUR (FKA HERITAGE SOUND)

An Ordinance of the Board of County Commissioners of Manatee County, Florida regarding land development, rendering an amended and restated Development Order pursuant to Chapter 380, Florida Statutes, for the Heritage Sound Development of Regional Impact (Ordinance 03-25); a/k/a TBRPC DRI #240; including a determination of whether the following changes constitute a substantial deviation to the Heritage Harbour Development of Regional Impact (DRI) in response to the owner's submittal of a Notice of Proposed Change (NOPC): 1) an allowance for a hotel as an alternative use on parcels 19 and/or 20, 2) an increase in the amount of commercial floor area by 54,900 square feet; 3) the addition of a land use equivalency matrix for parcels 19 & 20 that allows conversion of the permitted commercial uses (retail, office, and hotel) designed to keep trip generation the same, and 4) an amended map h; providing for development approval, conditions, and obligations; providing for severability; and providing an effective date.

PDMU-98-08(G)(R4) - HERITAGE HARBOUR

An Ordinance of Manatee County, Florida, regarding land development, amending Ordinance No. PDMU-09-08(G)(R2) to approve an amended General Development Plan for property consisting of approximately 106.6 acres generally located north of SR 64, west of Grand Harbour Parkway, and east of I-75 a/k/a the Landings at Heritage Harbour; said approval being specifically applicable to parcels nos. 19 & 20 within said project; providing for stipulations regarding signs to allow a sign plan; providing for specific

approvals as applicable; approving the addition of approximately 54,900 square feet of commercial floor area; additional revisions are indicated in said application; providing for severability; and providing for an effective date.

LDA-09-03 - LOCAL DEVELOPMENT AGREEMENT FOR SILVER- LEAF DEVELOPMENT

Request: Approval of a Local Development Agreement providing for the issuance of an extended certificate of level of service compliance; providing for dedication of right-of-way and the payment of a proportionate share of the cost to mitigate impacts on public facilities; providing for design, permitting and construction of project entrance improvements including turn lanes; providing for severability, and providing for an effective date. The Local Development Agreement applies to Silverleaf for which approval is sought pursuant to pending application known as PDR-05-60 (Z)(P) (263.35 \pm acres). The proposed use of the properties is residential development. Pursuant to the pending zoning request, Silverleaf is seeking approval for 713 residential units, each with a maximum height of 35 feet.

PDR-05-60(Z)(P) - NAP DUKE RANCH, LLC, MML I, LLC, and PGCI, LLC / SILVERLEAF

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance No. 90-01, the Manatee County Land Development Code) relating to zoning within the unincorporated area; providing for a rezoning of approximately 263.35 acres at the northwest corner of Old Tampa Road and Chin Road from A/NCO (General Agriculture/North Central Overlay) to the PDR/NCO (Planned Development Residential) zoning district, retaining the North Central Overlay; approving a Preliminary Site Plan for 713 single-family detached units; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability; and providing an effective date.

RESOLUTION 10-090 - SSP-10-01 MTI - CARUSO ROAD SCHOOL SITE (DTS #20100101)

A Resolution of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a School Site Plan submitted by the Manatee County School Board - MTI Caruso Road School Site on approximately 29.9 \pm acres, located approximately 545 \pm feet east of the northeast corner of S.R. 70 and Caruso Road at 6545 SR 70 East, Bradenton; providing for development standards and conditions setting forth findings; providing for severability; and providing for an effective date.

Interested parties may examine the proposed Ordinance and related documents and may obtain assistance regarding the matter from the Manatee County Planning Department, 1112 Manatee Avenue West, 4th Floor, Bradenton, Florida; telephone number (941) 748-4501 x6878; e-mail to: planning.agenda@mymanatee.org.

According to Florida Statutes, Section 286.0105, any person desiring to appeal any decision made by the Board of County Commissioners with respect to any matter considered at said Public Hearing will need a record of the proceedings, and for such purposes he may need

to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based.

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THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS.

MANATEE COUNTY BOARD OF
COUNTY COMMISSIONERS
Manatee County Planning
Department
Manatee County, Florida
05/19/2010

Copy of Newspaper Advertising

Sarasota Herald Tribune

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PDR-06-66(Z)(P) - CNL BANK / BAYOU POINTE ESTATES (DTS # 20060364)

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MANATEE COUNTY BOARD OF COUNTY COMMISSIONERS
Manatee County Planning Department
Manatee County, Florida

Date of pub: May 19, 2010

**RESOLUTION R-10-0090
MTI – CARUSO ROAD SCHOOL SITE
SSP-10-01 – DTS#20100101**

A Resolution of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a School Site Plan submitted by the Manatee County School Board – MTI Caruso Road School Site on approximately 29.9 ± acres, located approximately 545 ± feet east of the northeast corner of S.R. 70 and Caruso Road at 6545 SR 70 East, Bradenton; providing for development standards and conditions setting forth findings; providing for severability, and providing for an effective date.

WHEREAS, the Manatee County School Board (the “Applicant”) has filed an application for a School Site Plan (SSP-10-01) depicting one proposed school site within approximately 29.9± acre portion of a total parcel consisting of 191.66± acres, described in Exhibit “A”, attached hereto and make of part hereof by reference, (the “School Site Plan”); and

WHEREAS, the Planning staff has recommended approval of the School Site Plan as described in the Planning staff report.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MANATEE COUNTY, FLORIDA:

Section 1. FINDINGS OF FACT. The recitals set forth above are true and correct and are hereby adopted as findings by the Board of County Commissioners. The Board of County Commissioners of Manatee County, after considering the testimony, evidence, documentation, application for the School Site Plan, the recommendation and findings of staff, as well as all other matters presented to the Board at the public hearing hereinafter referenced, hereby makes the following findings of fact:

A. The Board of County Commissioners has received and considered the report of staff concerning the application for a School Site Plan as it relates to the real property described in Exhibit “A” of this Ordinance.

B. The Board of County Commissioners, after due public notice, held a public hearing on June 3, 2010 regarding the proposed School Site Plan described herein in accordance with the requirements of Manatee County Land Development Code and has further considered the information received at the public hearing.

C. The Board of County Commissioners hereby finds that the School Site Plan depicting the location of the proposed Manatee Technical Institute (MTI) consisting of approximately 215,000 square feet with a future expansion of a maximum of 35,000 square feet on the ±29.9 acre portion of the overall ±191.66 acre site complies with the standards set forth in LDC Section 520.

Section 2. SCHOOL SITE PLAN. A School Site Plan is hereby approved for a proposed school site as follows: for a future Manatee Technical Institute (MTI) with a maximum of 215,000 square feet and future expansion of a maximum of 35,000 square feet, on ±29.9 acres; subject to the following Stipulations:

STIPULATIONS

A. NATURAL RESOURCES

1. An ERP approved by SWFWMD shall be provided to NRD for review prior to commencement of construction.
2. Two separate inspections by NRD staff are required prior to authorization of construction and/or land clearing activities:
 - The applicant is authorized to stake erosion and sediment control (ESC) device and tree barricade locations. After staking ESC measures, NRD staff must be contacted to inspect the staked locations.
 - After the installation of ESC devices and tree barricades have been completed, a second inspection is required to ensure adequacy.
 - The contractor's name and contact information shall be provided to NRD staff prior to commencement of construction.
3. The following items must be completed in accordance with the approved School Board Site and inspected by NRD staff prior to occupancy:
 - Nuisance, exotic plant species removal in accordance with the approved Landscape Plans. Ongoing management events shall provide for the continues removal of nuisance species that become re-established within open spaces for the life of the project.
 - Wetland buffer restoration, in accordance with the WilsonMiller plan submitted 4/8/10.
 - Conservation Easement area sign installation (locations and details are subject to NRD staff approval).
 - Dedication of Conservation Easement to Manatee County for the areas defined as post-development jurisdictional wetlands and wetland buffers.

B. HEALTH DEPARTMENT

1. A permit for the water distribution system is required from the Health Department prior to start of construction.
2. The primary licensing agency for *public* schools is the Department of Education and the local School Board. Their approval of this project is required. *All* school plants must conform to 64E-13, Florida Administrative Code. In addition, any school that serves food must meet the requirements of Chapter 64E-11, Florida Administrative Code prior to licensure. Prior to construction, plans of the facility and its operation shall be submitted to and approved by the Manatee County Health Department. Plans may be submitted by the owner, prospective operator or their designated representative. All plans shall comply with the requirements of this chapter.

C. STORMWATER MANAGEMENT

1. A copy of the Construction Plans and drainage calculations shall be provided to the Stormwater Management Division when application is made to SWFWMD.

Section 3. EFFECT OF REVIEW IN CONSIDERATION OF SCHOOL SITE PLAN. The School Site Plan shall serve only as a planning tool and shall not be relied upon for determinations of satisfying the school concurrency requirements in Chapter 163, Part II, Florida Statutes.

Section 4. SEVERABILITY. If any section, sentence, clause, or other provision of this Resolution shall be held to be invalid or unconstitutional by a court of competent jurisdiction, such section, sentence, clause, or provision shall be deemed severable, and such invalidity or unconstitutionality shall not be construed as to render invalid or unconstitutional the remaining sections, sentences, clauses, or provisions of this Resolution.

Section 5. CODIFICATION. Pursuant to § 125.68(1), Florida Statutes, this resolution is not required to be codified. Therefore, the Clerk shall not transmit the resolution for codification.

Section 6. EFFECTIVE DATE. This resolution shall take effect immediately upon adoption.

PASSED AND DULY ADOPTED, by the Board of County Commissioners of Manatee County, Florida on the 3rd day of June, 2010.

**BOARD OF COUNTY COMMISSIONERS
OF MANATEE COUNTY, FLORIDA**

BY: _____

Donna G. Hayes, Chairman

ATTEST: R. B. SHORE
Clerk of the Circuit Court

BY: _____

Deputy Clerk

EXHIBIT "A"

DESCRIPTION:

THAT 29.9 ACRE \pm PARCEL OF THE FOLLOWING DESCRIBED PROPERTY AS SHOWN ON THE SCHOOL SITE PLAN.

THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

TOGETHER WITH:

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER LYING NORTH OF HIGHWAY 70 IN SECTION 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

TOGETHER WITH:

THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER LYING NORTH OF HIGHWAY 70 IN SECTION 14, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

LESS:

RIGHT-OF-WAY DEDICATIONS AS RECORDED IN OFFICIAL RECORDS BOOK 2143, PAGE 1940, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

RIGHT-OF-WAY DEDICATION #1

COMMENCE AT THE SECTION CORNER COMMON TO SECTIONS 10, 11, 14 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST; THENCE S00°09'22"W, ALONG THE WEST LINE OF SAID SECTION 14, A DISTANCE OF 290.88 FT. TO THE INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY OF STATE ROAD 70, AS SHOWN ON F.D.O.T. RIGHT-OF-WAY MAP, SECTION 13160-2516; THENCE S89°41'33"E, ALONG SAID NORTHERLY RIGHT-OF-WAY, A DISTANCE OF 1553.40 FT. TO THE P.C. OF A CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 2944.79 FT.; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY AND THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 00°02'25", A DISTANCE OF 2.07 FT. FOR A POINT OF BEGINNING; THENCE CONTINUE, ALONG SAID NORTHERLY RIGHT-OF-WAY AND THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 01°04'14", A DISTANCE OF 55.02 FT. TO THE INTERSECTION WITH THE WESTERLY LINE OF CAMPBELL COMMERCIAL SUBDIVISION, AS RECORDED IN PLAT BOOK 23, PAGE 141, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE N00°51'41"W, ALONG SAID WESTERLY LINE, A DISTANCE OF 288.78 FT.; THENCE N00°41'55"W, ALONG SAID WESTERLY LINE, A DISTANCE OF 20.74 FT.; THENCE N90°00'00"W, 55.00 FT.; THENCE S00°41'55"E, 21.49 FT.; THENCE S00°51'41"E, A DISTANCE OF 287.18 FT. TO THE POINT OF BEGINNING, BEING AND LYING IN SECTIONS 11 AND 14, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

AND:

RIGHT-OF-WAY DEDICATION #2

COMMENCE AT THE SECTION CORNER COMMON TO SECTIONS 10, 11, 14 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST; THENCE S00°09'22"W, ALONG THE EAST LINE OF SAID SECTION 15, A DISTANCE OF 290.88 FT. TO THE INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY OF STATE ROAD 70, AS SHOWN ON F.D.O.T. RIGHT-OF-WAY MAP, SECTION 13160-2516; THENCE N89°41'33"W, ALONG SAID NORTHERLY RIGHT-OF-WAY, A DISTANCE OF 1238.90 FT. FOR A POINT OF BEGINNING; THENCE CONTINUE N89°41'33"W, ALONG SAID NORTHERLY RIGHT-OF-WAY, A DISTANCE OF 44.37 FT. TO THE INTERSECTION WITH THE EASTERLY MAINTAINED RIGHT-OF-WAY OF CARUSO ROAD AS RECORDED IN ROAD PLAT BOOK 9, PAGES 90 THROUGH 100, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE N00°55'25"W, ALONG SAID EASTERLY MAINTAINED RIGHT-OF-WAY, A DISTANCE OF 289.83 FT. TO THE INTERSECTION WITH THE SECTION LINE COMMON TO SAID SECTIONS 10 AND 15; THENCE CONTINUE N00°55'25"W, ALONG SAID EASTERLY MAINTAINED RIGHT-OF-WAY, A DISTANCE OF 1602.84 FT.; THENCE N00°45'58"W, ALONG SAID EASTERLY MAINTAINED RIGHT-OF-WAY, A DISTANCE OF 1043.37 FT. TO THE SOUTHWEST CORNER OF LOT 1 OF DUDE RANCH ACRES, A SUBDIVISION AS RECORDED IN PLAT BOOK 12, PAGE 29, SAID PUBLIC RECORDS; THENCE S89°48'19"E, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 45.01 FT.; THENCE S00°58'58"E, A DISTANCE OF 2645.56 FT. TO THE INTERSECTION WITH AFORESAID COMMON LINE TO SECTIONS 10 AND 15; THENCE S00°18'25"W, A DISTANCE OF 290.62 FT. TO THE POINT OF BEGINNING, BEING AND LYING IN SECTIONS 10 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

ALL OF THE ABOVE BEING AND LYING IN SECTIONS 10, 11, 14 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA, AND CONTAINING 191.66 ACRES, MORE OR LESS.

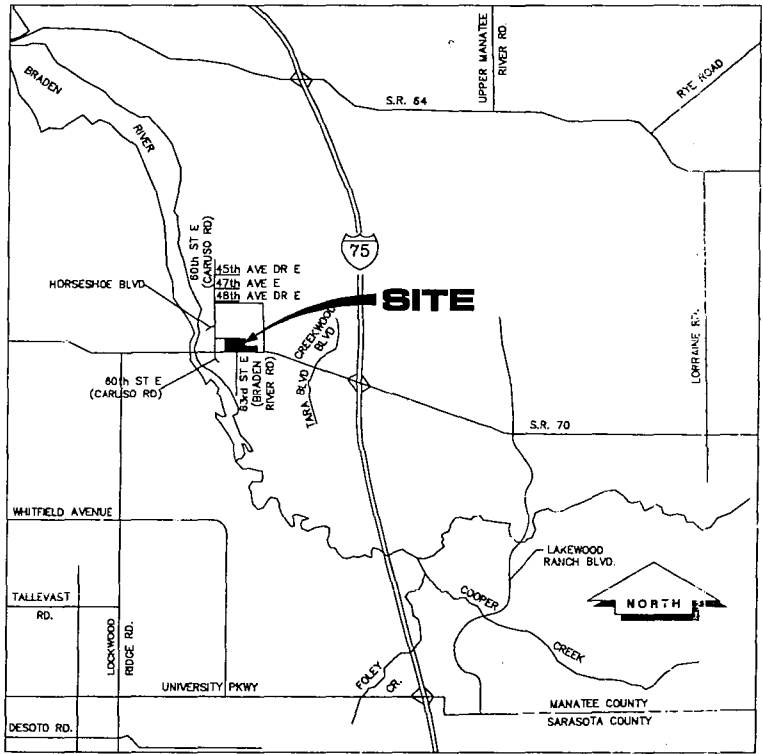
SM\Forms\Manatee County\Braden River High Site less rw takings-rev

MTI
SCHOOL SITE PLAN
FOR
MANATEE COUNTY SCHOOL BOARD

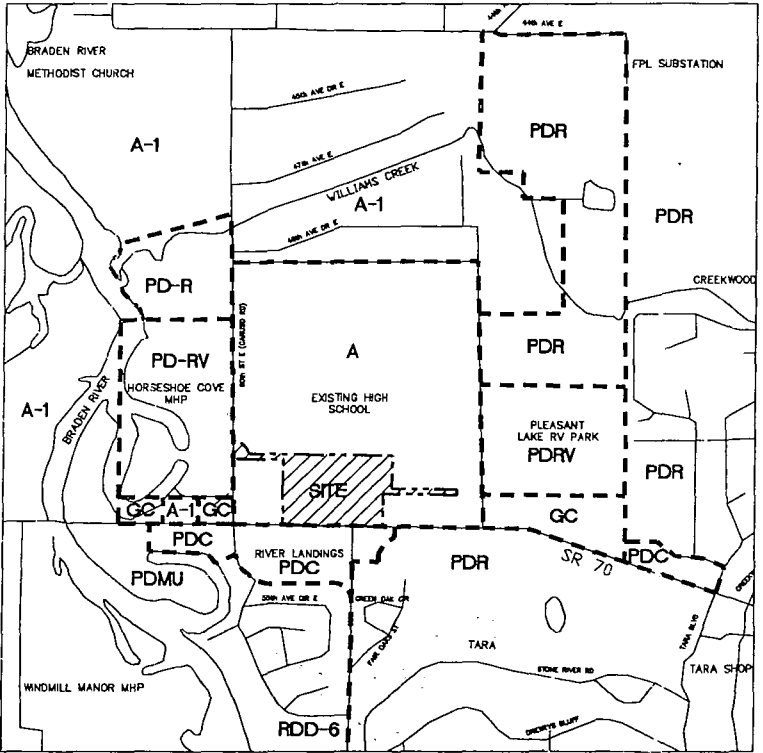
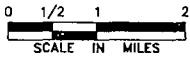
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Manatee Technical Institute-SR 70
Campus

GENERAL NOTES

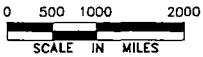
1. PROJECT ACREAGE INFORMATION: APPLICATION FOR THIS SCHOOL SITE PLAN IS 28.9 +/- ACRES TOTAL SCHOOL PARCEL: 191.68 ACRES.
2. ZONING CLASSIFICATION: A-1 AGRICULTURAL. FUTURE LAND USE CLASSIFICATION: RES-3 AND ROR (APPROX. 300' FROM S.R. 70). SEE MAP ON THIS SHEET FOR ADJOINING ZONING CLASSIFICATIONS. ADJACENT LAND USE INFORMATION IS PROVIDED ON SHEET 1. THIS SITE IS NOT LOCATED WITHIN THE ENTRANCEWAY.
3. THERE ARE NO HISTORIC OR ARCHAEOLOGICAL SITES LOCATED ON THE PROPERTY.
4. TOPOGRAPHIC CONTOURS TAKEN FROM SURVEY BY LS&F IN 2002. ELEVATIONS BASED ON 1929 NGVD DATUM.
5. THE SITE LIES IN FLOOD ZONE X, COMMUNITY PANEL NO. 120153 0353C (1992). THE SITE IS NOT IN A 100 YR. FLOODPLAIN OR FLOODWAY.
6. THERE ARE NO PERENNIAL STREAMS ON OR ADJACENT TO THIS SITE.
7. WETLAND DELINEATION BY ENVIRONMENTAL AFFAIRS CONSULTANTS, NOV. 2002. A MARCH 2010 REPORT ENTITLED "WETLANDS AND WILDLIFE ISSUE REPORT" IS BEING PROVIDED WITH THIS APPLICATION. A SIGNED AND SEALED WETLAND BOUNDARY SURVEY IS ATTACHED.
8. CURRENT LAND USE IS: VACANT.
9. PROPOSED LAND USE: COUNTY EDUCATIONAL FACILITY.
10. PROPOSED DEVELOPMENT CONSTRUCTION SCHEDULE:
COMMENCE: JANUARY 2011
COMPLETED: JANUARY 2014
11. OPEN SPACE AND PUBLIC USE AREAS SHALL BE PROVIDED AT THIS PROPOSED SCHOOL AS SPECIFIED IN SECTION 909 OF THE LAND DEVELOPMENT CODE.
12. SETBACKS, A-ZONING: FRONT: 50'; SIDE: 10'; REAR: 25'
13. DENSITY/INTENSITY - MTI:
FUTURE: 215,000 S.F. + 29.90 ACRES = 0.17 FLOOR AREA RATIO
TOTAL: 35,000 S.F. EXPANSION
250,000 S.F. + 29.90 ACRES = 0.18 FLOOR AREA RATIO
14. THE PROPERTY WILL BE MAINTAINED, CONTROLLED AND OPERATED BY THE MANATEE COUNTY SCHOOL BOARD.
15. THERE ARE EXISTING EASEMENTS ENCUMBERING THE SITES SHOWN ON THIS SITE PLAN. APPROXIMATE SIZES AND LOCATIONS ARE SHOWN ON SHEET 2.
16. BUILDING HEIGHTS AT THE ADJACENT HIGH SCHOOL RANGE FROM 18'-30', WITH THE 2 STORY AUDITORIUM AND GYMNASIUM BEING 45'-75' IN HEIGHT. BUILDING HEIGHTS OF FUTURE SCHOOLS WILL NOT EXCEED THE HEIGHT RESTRICTIONS ESTABLISHED WITH THE APPROVAL OF THE HIGH SCHOOL.
17. THE SITE IS SERVICED BY MANATEE COUNTY SEWER AND WATER. ALL PROPOSED UTILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE MANATEE COUNTY SCHOOL BOARD. SEE SHEETS 2 AND 3 FOR PRELIMINARY DRAINAGE, POTABLE WATER AND FIRE SYSTEMS, AND SANITARY SEWER SYSTEMS TO SERVE THIS SITE.
18. SOLID WASTE FACILITIES SHALL BE PROVIDED, AS REQUIRED BY LDC SECTION 728. PICKUP SHALL BE PROVIDED BY MANATEE COUNTY PUBLIC WORKS DEPARTMENT.
19. A PEDESTRIAN PLAN HAS BEEN PREPARED BY THE MANATEE COUNTY SCHOOL BOARD PLANNER AND IS ATTACHED TO THIS APPLICATION.
20. SCHOOL PROJECT LANDSCAPING IS NOT SUBJECT TO LDC SECTION 714 REQUIREMENTS PER FLORIDA STATUTE 1013.64 5.a. LANDSCAPE INFORMATION HAS BEEN PREPARED BY JOHN MOODY AND ASSOCIATES AND IS PROVIDED PER MANATEE COUNTY ORDINANCE 09-59. SEE SHEETS L.1 THRU L.5.
21. EXISTING TREE LOCATIONS, TREE REMOVAL AND REPLACEMENT, PERIMETER LANDSCAPING AND DETAILS, AS WELL AS VISIBILITY TRIANGLE LOCATIONS, ARE SHOWN ON SHEETS L.1 THRU L.5.
22. A GENERAL LIGHTING PLAN HAS BEEN PREPARED. LIGHT POLE LOCATIONS ARE SHOWN ON SITE PLAN SHEETS 2 AND 3. LIGHTING DETAILS AND DESIGN PRINCIPLES WILL BE PROVIDED AT THE CONSTRUCTION PLAN PHASE.
23. DRIVEWAY ACCESS TO S.R. 70 SHALL COMPLY WITH THE REQUIREMENTS OF F.D.O.T.
24. PARKING SUMMARY:
PAVED: 573
GRASS: 151
724 PARKING SPACES TOTAL (INCLUDING 14 HANDICAP SPACES (2%))
* SEE SITE PLAN SHEET 3 FOR PARKING LOT DETAILS AND DIMENSIONS.



LOCATION MAP



ZONING MAP



INDEX

AERIAL PHOTOGRAPH / PROJECT LIMITS	1
SCHOOL SITE PLAN	2-3
TREE REMOVAL/REPLACEMENT PLANS	L.1-2
PERIMETER LANDSCAPE PLANS	L.3-4
LANDSCAPE NOTES AND DETAILS	L.5

DEPARTMENT
MAY 24 2010
PLANNING

Section 10, 11, 14, And 15
Twp. 35 S., Rge. 18 E.
Manatee County, Florida
DATE: MARCH, 2010

MTI SCHOOL SITE PLAN		Project Name: MANATEE COUNTY SCHOOLS	
APPROVED	Date	File Number	
PROJECT PLANNER (PD) _____			
PROJECT ENGINEER (PW) _____			
CONCURRENCY (PD) _____			
NATURAL RESOURCES DEPT. _____			
ENVIRONMENTAL HEALTH _____			
FIRE DISTRICT _____			
OWNER/AGENT _____			

REVISIONS
04/27/10 DRC COMMENTS

OWNER: Manatee County School Board
CLIENT: Fawley Bryant Architects

LOMBARDO, FOLEY & KOLARIK, INC.
Consulting Engineers, Surveyors and Planners
P.O. Box 188 • 825 4th Street West • Palmetto, Florida 34221 • (941) 722-4561





AERIAL / PROJECT LIMITS / LAND USES

SCHOOL SITE PLAN

MANATEE TECHNICAL INSTITUTE S.R. 70 AND CARUSO ROAD SITE

MANATEE COUNTY SCHOOL BOARD

REVISIONS

LOMBARDO, FOLEY & KOLARIK, INC.

Consulting Engineers, Surveyors and Planners
P.O. Box 188 • 625 4th Street West • Palmetto, Florida 34221 • (848) 722-0881

PROJECT ENGINEER

ROBERT J. LOMBARDO

20528
P.E. REG. NO.

DESIGN R.E.

DRYAN P.E.

APPR. R.E.

DATE 03/01/10

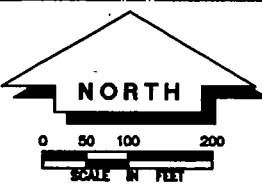
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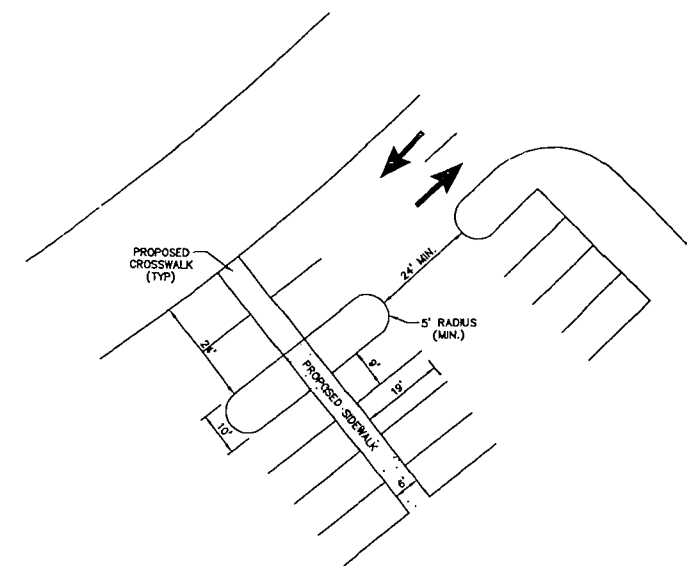
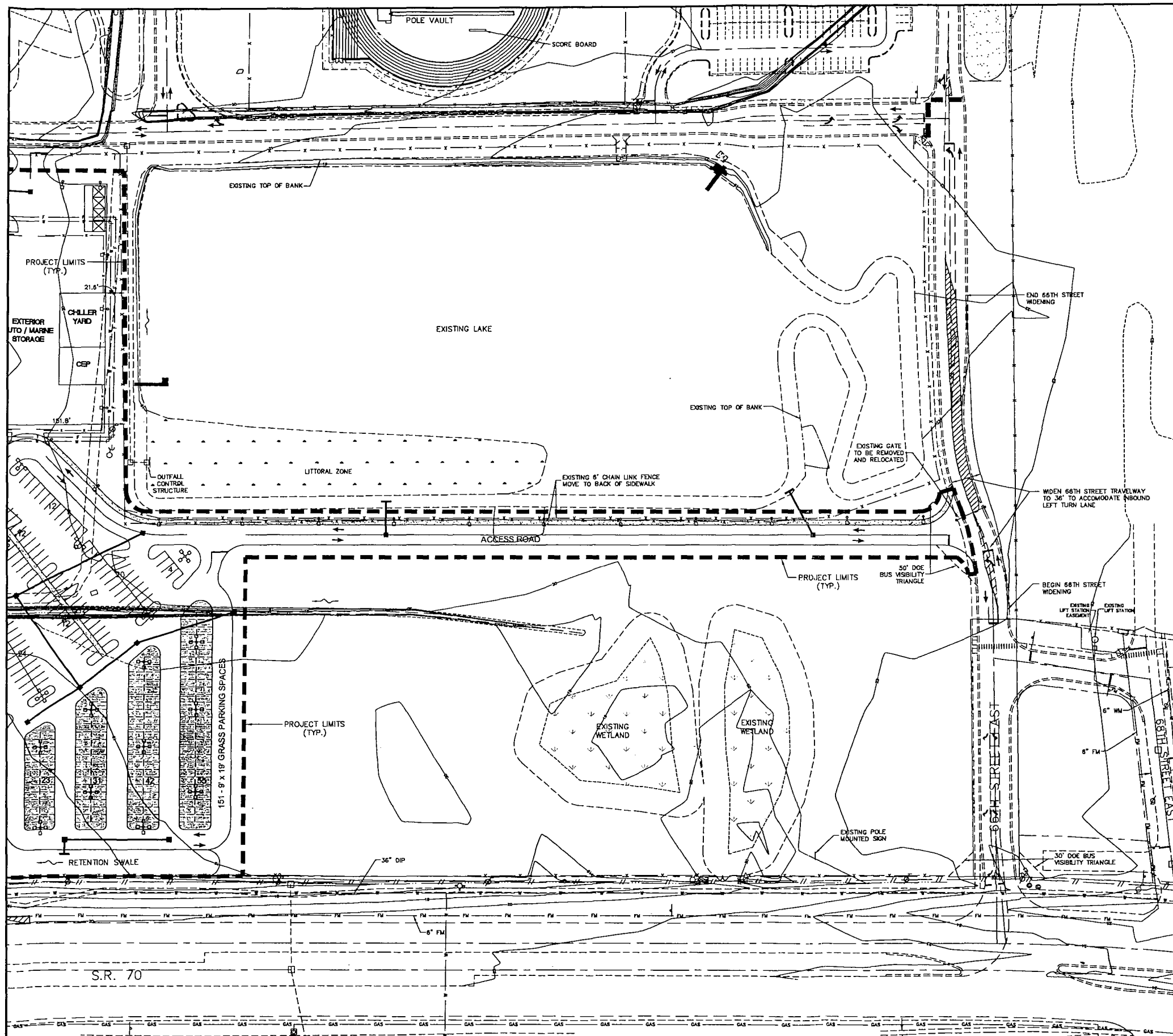
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SHEET NO.

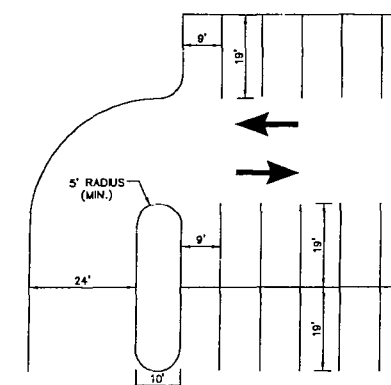
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3

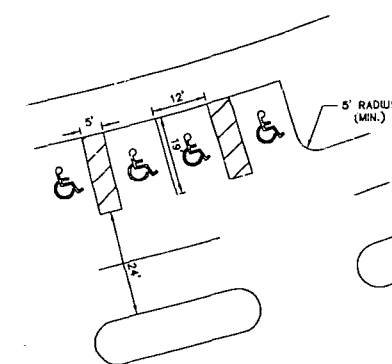




PARKING DETAIL
MAIN PARKING LOT
SCALE: 1"=20'



PARKING DETAIL
WEST PARKING LOT
SCALE: 1"=20'



HANDICAP PARKING DETAIL
SCALE: 1"=20'

LEGEND	
— x — x —	EXISTING FENCE
— x — x —	PROPOSED FENCE
— GAS —	EXISTING GAS MAIN
— W — W —	EXISTING WATERMAIN/HYDRANT
— FM — FM —	EXISTING FORCEMAIN
— — —	EXISTING SWALE CENTERLINE
— — —	EXISTING GRAVITY SANITARY SEWER
— — —	EXISTING STORM SEWER
— — —	EXISTING MITERED HEADWALL
— — —	PROPOSED WATERMAIN
— — —	PROPOSED LIGHT POLE LOCATIONS
— — —	PROPOSED FIRELINE/HYDRANT
— — —	PROPOSED STORMWATER FLOW
— — —	PROPOSED STORM SEWER
— — —	EXISTING POWER POLE/POWERLINES
— — —	SOLID WASTE DISPOSAL/PICK UP
— — —	PROPOSED SIDEWALK
— — —	EXISTING SIGN

SCHOOL SITE PLAN / DETAILS **MANATEE TECHNICAL INSTITUTE** **S.R. 70 AND CARUSO ROAD SITE** **MANATEE COUNTY SCHOOL BOARD**

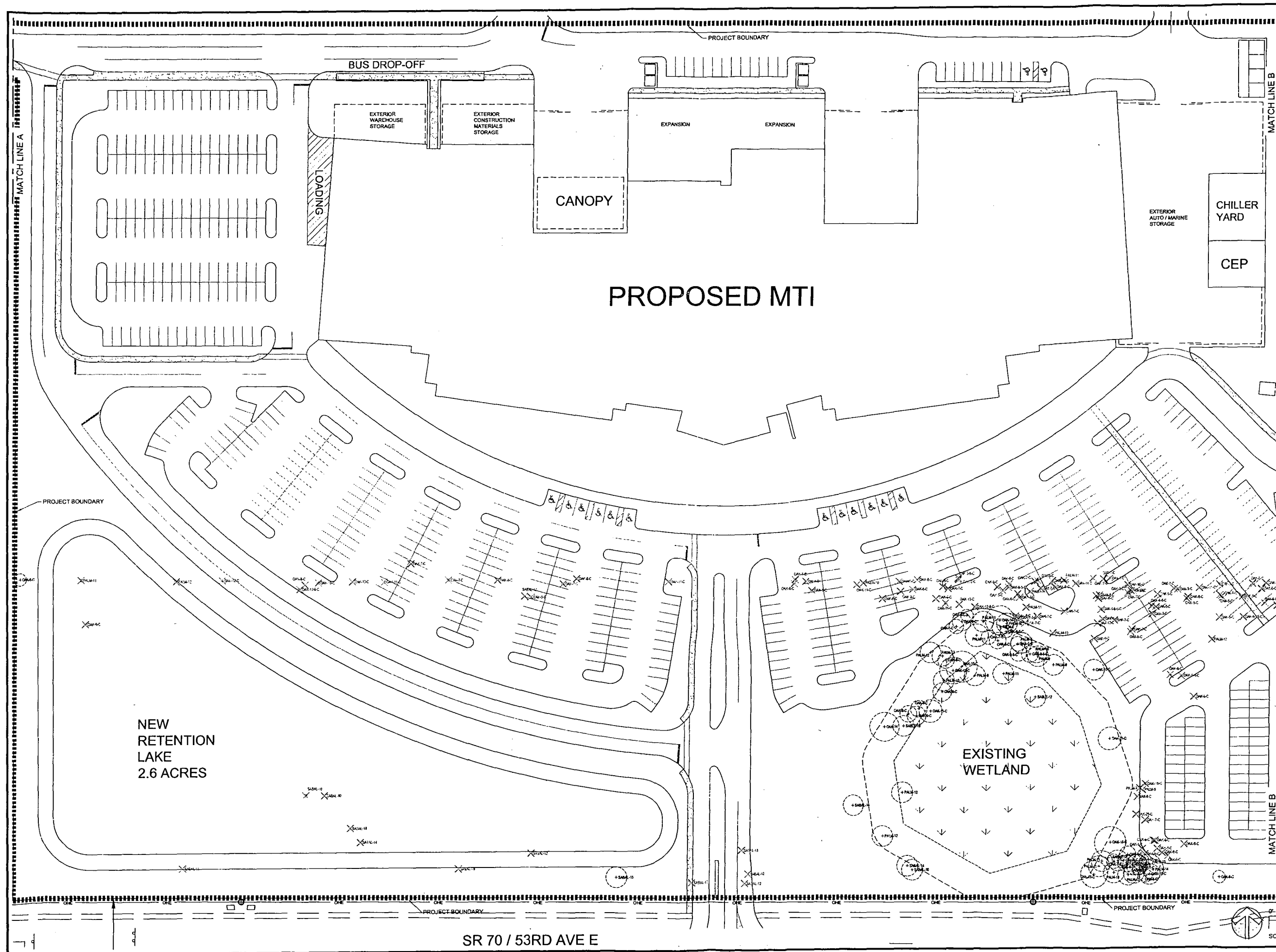
REVISIONS	DATE	BY	COMMENTS
04/27/10	DRC	COMMENTS	

LOMBARDO, FOLEY & KOLARIK, INC.
 Consulting Engineers, Surveyors and Planners
 P.O. Box 188 • 825 4th Street West • Palmetto, Florida 34221 • (941) 722-4561



PROJECT ENGINEER	DESIGN	R.J.L.	DATE	02/08/10
ROBERT J. LOMBARDO	DRAWN	P.B.	SCALE	1"=60'
20528	APPR	R.J.L.	JOB NO.	7702
P.E. REG. NO.				

SHEET NO.
3
3



John Moody
& ASSOCIATES
 Landscape Architecture, Urban Design
 Environmental Planning
 325 13th Street West, Bradenton, Florida 34205
 (941) 746-8664 - (941) 746-8781 Facsimile

IR-83-0086
440570 Project Boundary Limits Added

Florida	CHECKED.
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DSN:0146

Institute	PROJECT STATUS:	DATE:

SR 70
School Site Pla

Manate	2
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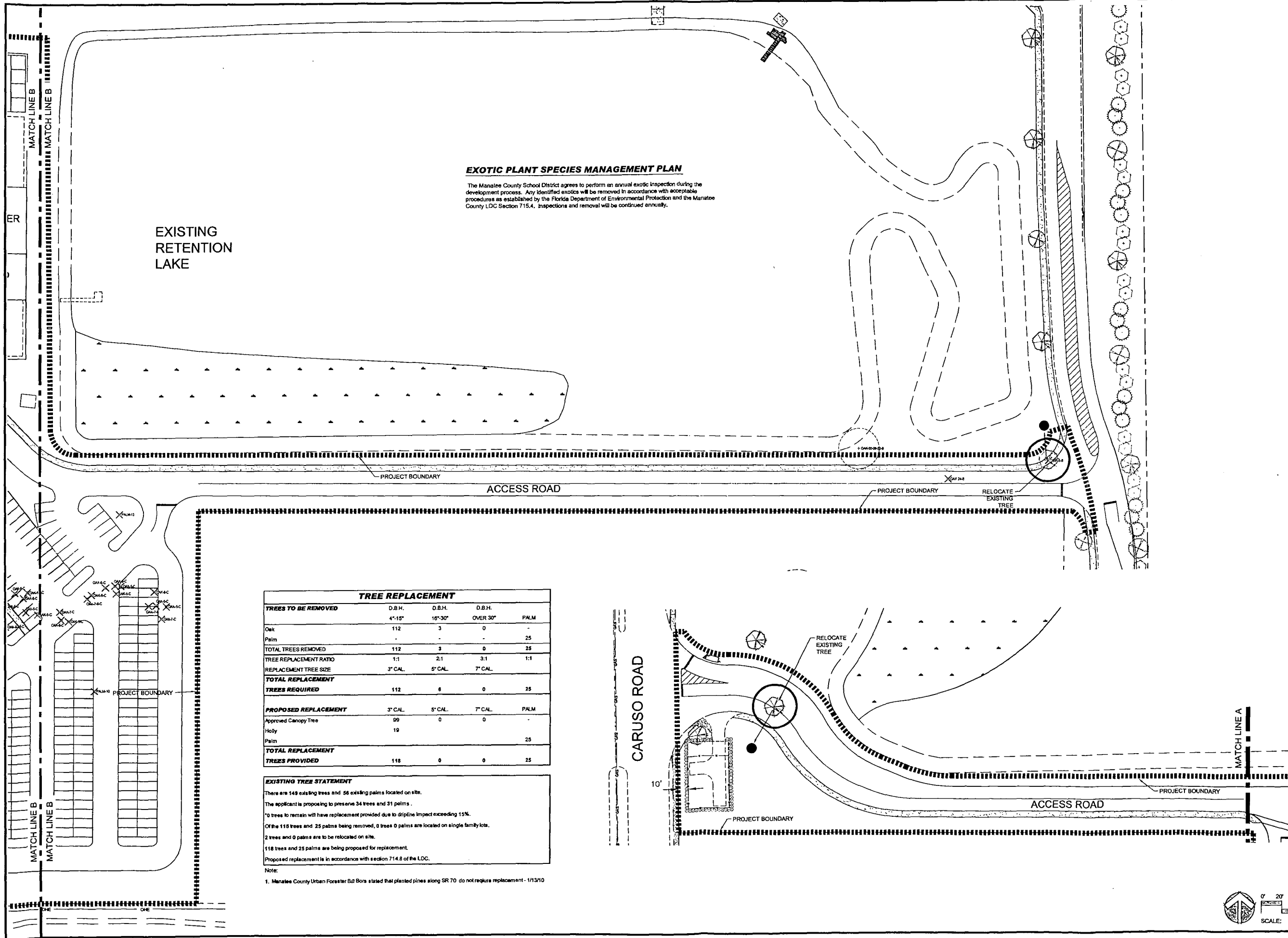
County

Manatee County
PREPARED FOR:

SEAL:

Tree Removal Plan

L-1 of 5



EXOTIC PLANT SPECIES MANAGEMENT PLAN

The Manatee County School District agrees to perform an annual exotic inspection during the development process. Any identified exotics will be removed in accordance with acceptable procedures as established by the Florida Department of Environmental Protection and the Manatee County LDC Section 715.4. Inspections and removal will be continued annually.

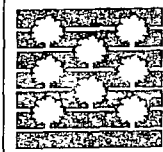
TREE REPLACEMENT				
TREES TO BE REMOVED	D.B.H. 4"-15"	D.B.H. 16"-30"	D.B.H. OVER 30"	PALM
Oak	112	3	0	-
Palm	-	-	-	25
TOTAL TREES REMOVED	112	3	0	25
TREE REPLACEMENT RATIO	1:1	2:1	3:1	1:1
REPLACEMENT TREE SIZE	3" CAL.	5" CAL.	7" CAL.	
TOTAL REPLACEMENT TREES REQUIRED	112	6	0	25
PROPOSED REPLACEMENT	3" CAL.	5" CAL.	7" CAL.	PALM
Approved Canopy Tree	09	0	0	-
Holly	19			
Palm				25
TOTAL REPLACEMENT TREES PROVIDED	118	0	0	25

EXISTING TREE STATEMENT

There are 148 existing trees and 58 existing palms located on site.
The applicant is proposing to preserve 34 trees and 31 palms.
70 trees to remain will have replacement provided due to drip-line impact exceeding 15%.
Of the 118 trees and 25 palms being removed, 0 trees 0 palms are located on single family lots.
2 trees and 0 palms are to be relocated on site.
118 trees and 25 palms are being proposed for replacement.
Proposed replacement is in accordance with section 714.8 of the LDC.

Note:

1. Manatee County Urban Forester Bill Bore stated that planted pines along SR 70 do not require replacement - 1/13/10



John Moody & Associates
Landscape Architecture, Urban Design
Environmental Planning

1171 34th Avenue West, Bradenton, Florida 34205
813-746-3444 • Fax 813-746-3445

RESPONSE: 9/4/2010 Project Boundary Limits Added

Copyright © 2010 John Moody & Associates, Inc.

Manatee Technical Institute
SR 70
School Site Plan

Florida

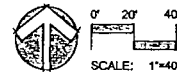
Manatee County
PREPARED FOR:

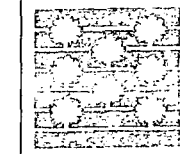
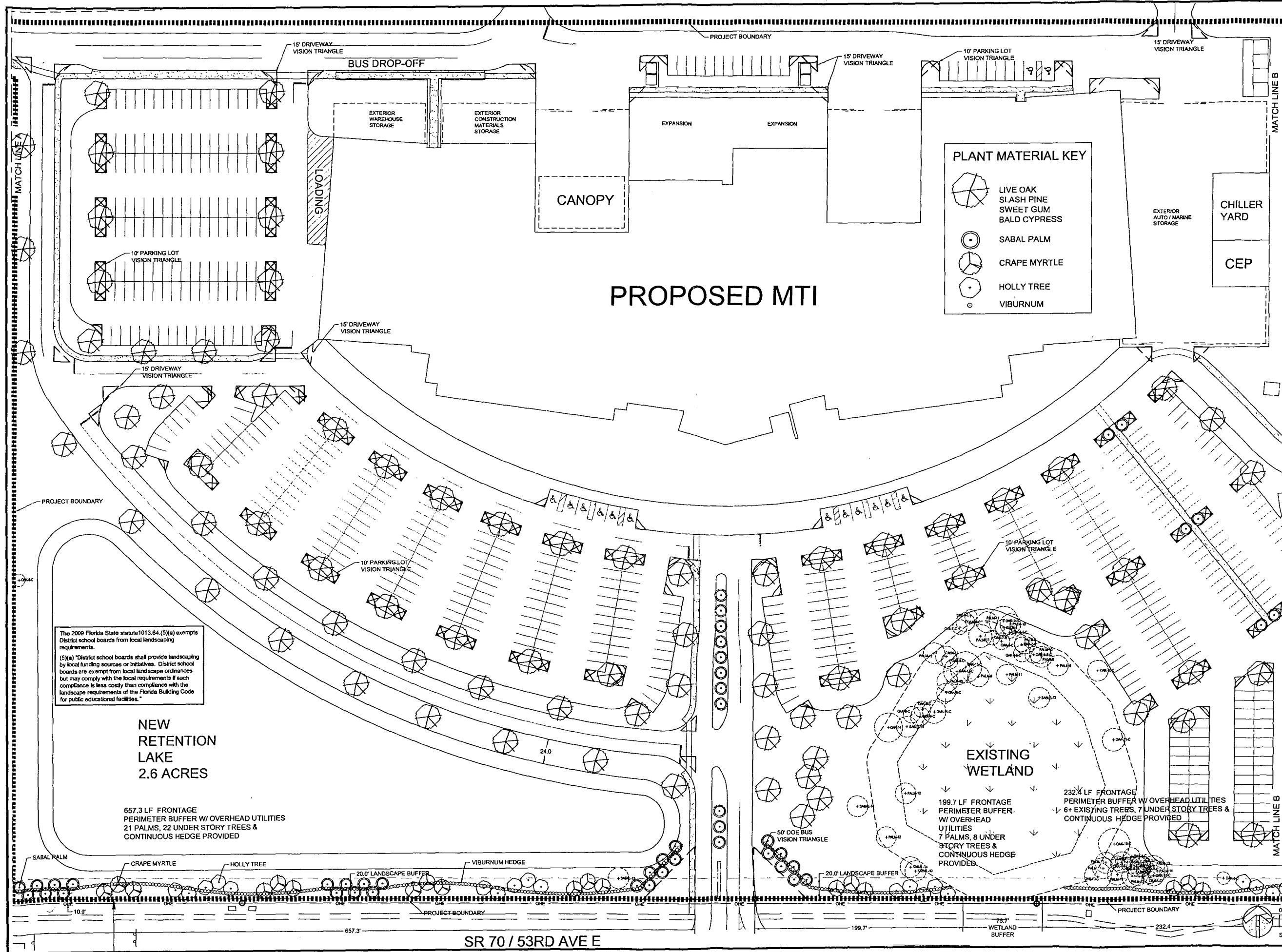
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DATE: _____
PLOT DATE: 9/20/10
DESIGNER: _____
FILE NAME: 09-08-08 Long
CHECKED: _____

Tree Removal Plan

SHEET

L-2 of 5





John Moody & Associates, Inc.
Landscape Architecture, Urban Design
Environmental Planning
1311 Lake Street, Suite 100, Sarasota, Florida 34236
941.552.1111

REVISIONS:	04/05/10 Project Boundary Limits Added
DATE:	04/05/10
BY:	FILE NAME: 040510.LRG
CHECKED:	

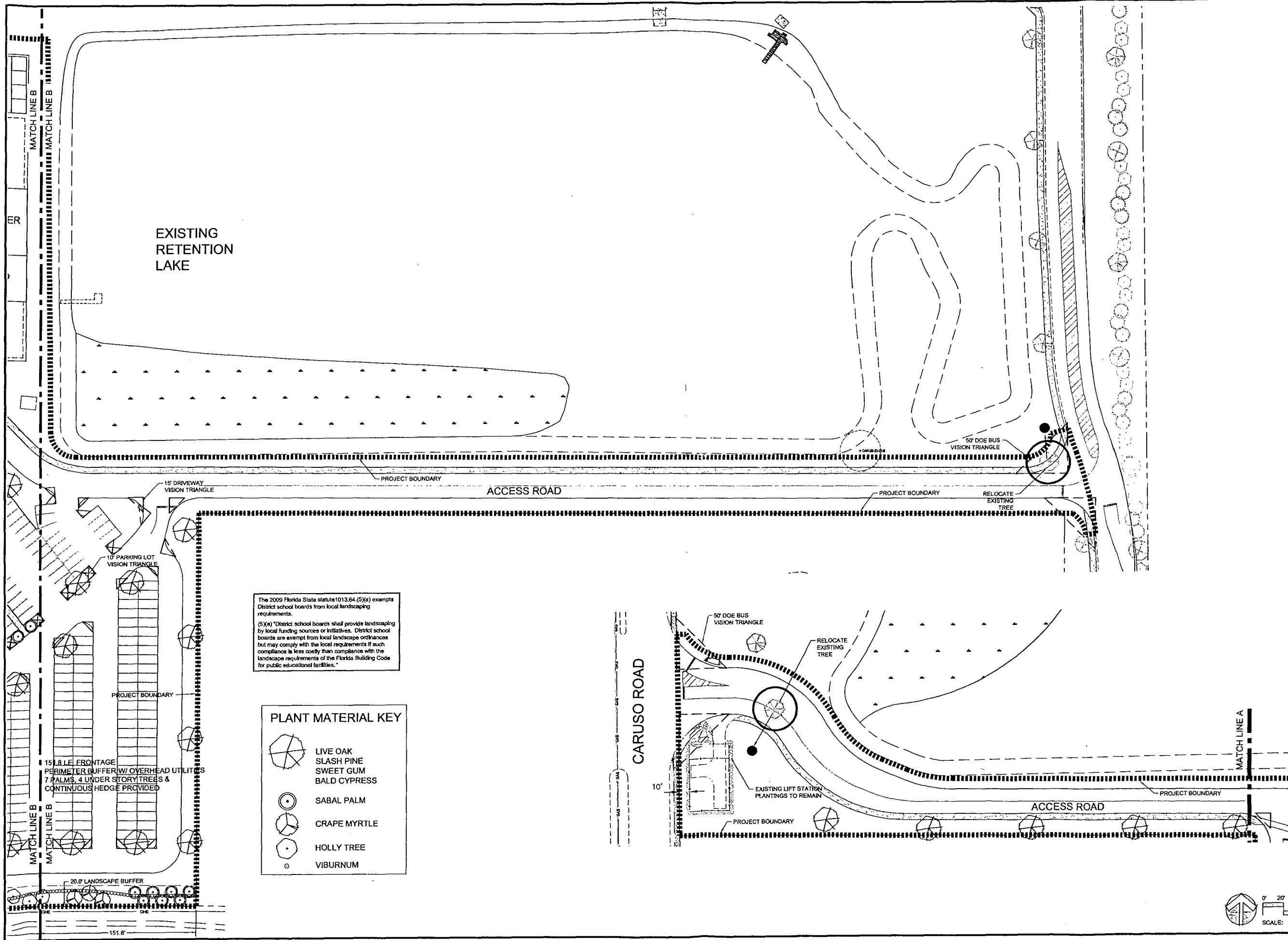
Manatee Technical Institute
SR 70
School Site Plan

Florida

Manatee County

PREPARED FOR:









Perimeter Buffer Plan

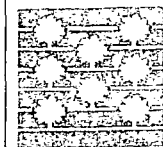


The 2009 Florida State statute 1013.64(5)(a) exempts District school boards from local landscaping requirements.

(5)(a) "District school boards shall provide landscaping by local funding sources or initiatives. District school boards are exempt from local landscape ordinances but may comply with the local requirements if such compliance is less costly than compliance with the landscape requirements of the Florida Building Code for public educational facilities."

PLANT MATERIAL KEY

-  LIVE OAK
-  SLASH PINE
-  SWEET GUM
-  BALD CYPRESS
-  SABAL PALM
-  CRAPE MYRTLE
-  HOLLY TREE
-  VIBURNUM



John Moody & Associates
 Landscape Architecture, Urban Design
 Environmental Planning
 175 1st Avenue, Suite 200, St. Petersburg, FL 33701
 Tel: 727.321.1111 Fax: 727.321.1112

REVISIONS:
 04/05/10 Project Boundary Limits Added

Florida

Manatee Technical Institute
 SR 70
 School Site Plan

Manatee County

Perimeter
 Buffer
 Plan

L-4 of 5

LANDSCAPE GENERAL NOTES

- LANDSCAPE NOTES ARE ALL INCLUSIVE. ALL QUESTIONS CONCERNING THE LANDSCAPE PLAN, DETAILS, AND SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT (941) 746-8664.
- PLANT COUNT TOTALS IN THE PLANT MATERIALS LIST ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. BIDDERS SHALL VERIFY ALL PLANT COUNTS WITH THE SPECIFIED QUANTITIES SHOWN ON THE LANDSCAPE PLAN. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS DRAWN ON THE PLAN. SPECIFIED PRODUCTS MAY BE SUBSTITUTED WITH AS EQUAL PRODUCTS ONLY WHEN APPROVED BY THE LANDSCAPE ARCHITECT.
- REVIEW THE GENERAL NOTES, PLANT MATERIAL LIST, PLANS, DETAILS, AND WRITTEN SPECIFICATIONS (IF PROVIDED). THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE LANDSCAPE PLAN AS DRAWN AND DIRECTED BY THE NOTES AND SPECIFICATIONS. CONTACT THE LANDSCAPE ARCHITECT WHEN SIGNIFICANT FIELD CHANGES REQUIRE PLAN REVISION AND BEFORE MAKING MATERIAL SUBSTITUTIONS.
- PRIOR TO SUBMITTING THE BID, THE LANDSCAPE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS. SEE ENGINEERING (CIVIL) PLANS FOR ADDITIONAL SITE INFORMATION.
- ALL PLANTS FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE FLORIDA NO. 1 QUALITY OR BETTER IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA 2ND EDITION (FEB. 1998 P# 977-05). THE OWNER AND/OR LANDSCAPE ARCHITECT SHALL DETERMINE THE ACCEPTABILITY OF ALL PLANT MATERIAL SUPPLIED BY THE LANDSCAPE CONTRACTOR. SPECIMEN MATERIAL SHALL BE APPROVED BEFORE INSTALLATION.
- ALL PLANT MATERIAL THAT HAS BEEN FIELD TAGGED BY THE LANDSCAPE ARCHITECT SHALL REMAIN TAGGED UNTIL FINAL ACCEPTANCE OF THE PROJECT. ALL MATERIAL NOT TAGGED BY LANDSCAPE ARCHITECT IS SUBJECT TO REJECTION. REJECTED PLANT MATERIAL SHALL BE REPLACED AT CONTRACTORS EXPENSE UNTIL ACCEPTABLE MATERIAL IS PROVIDED.
- AT HIS DISCRETION, THE LANDSCAPE ARCHITECT MAY REQUIRE ALL PLANTS TO BE SET IN PLACE AND APPROVED PRIOR TO ANY PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL CALL TO SCHEDULE THE INSPECTION FOUR (4) WORKING DAYS IN ADVANCE.
- STAKE ALL TREES. SEE TREE PLANTING DETAIL.
- PROVIDE ARBORGARD+ FLEXIBLE BARK PROTECTORS (MODEL A69-4) AROUND BASE OF TRUNK FOR ALL SINGLE TRUNK TREES FREESTANDING IN SODDED AREAS. THEY ARE AVAILABLE AT ARBORIST SUPPLY HOUSE, INC., (FT. LAUDERDALE, FL: 1-800-749-9528).
- ALL TREES SHALL BE PLANTED WITH MYCOR TREE SAVER (3oz PER 1" CAL.) AND PHC HEALTHY START MACRO TABLETS (21 GRAM - 4 PER 1" CAL.) - SEE MANUFACTURERS SPECIFICATIONS FOR INSTALLATION METHOD (PLANT HEALTH CARE, INC. 941-751-9455, JOHN DEERE LANDSCAPES 941-746-8664, SOUTHEAST PARTNERS 229-267-0156, PROFESSIONAL SUPPLY (601) 269-4511 AND UNIVERSAL SUPPLY 554-979-0600/11). ALL PALMS SHALL BE PLANTED WITH MYCOR PALM SAVER - SEE MANUFACTURERS SPECIFICATIONS FOR APPLICATION RATE AND INSTALLATION METHOD (PLANT HEALTH CARE, INC. 1-800-421-9051).
- ON NON-IRRIGATED SITES OR AREAS, TREES AND PALMS SHALL ALSO RECEIVE TERRA-SORB HYDRO GEL (PLANT HEALTH CARE INC.) AS PER MANUFACTURER SPECIFICATIONS.
- ALL SHRUBS SHALL RECEIVE 1/2 LB. OF MILORGANITE PER FOOT OF HEIGHT; TREES SHALL RECEIVE 5 LBS. PER INCH OF CALIPER; AND GROUNDCOVERS SHALL BE FERTILIZED AS PER LABEL INSTRUCTIONS. IN ALL INSTANCES FERTILIZER SHALL BE MIXED IN EVENLY WITH BACKFILL MATERIAL.
- ALL SHRUBS AND GROUNDCOVER SHALL ALSO RECEIVE PHC HEALTHY START MACRO TABLETS (21 GRAM - 1 PER 1 GAL., 3 PER 5 GAL., 4 PER 10 GAL., AND 5 PER 15 GAL.). INSTALL AS PER MANUFACTURERS DIRECTIONS.
- AMEND BACKFILL OF ALL SHRUBS AND GROUNDCOVERS ONLY WITH 1/3 CLEAN FLORIDA PEAT OR APPROVED PLANTING MIX. MIX ORGANIC SOIL AMENDMENTS THOROUGHLY WITH THE NATIVE SOIL BEFORE BACKFILLING PLANTING PITS.
- ONLY PRUNE TREES AND SHRUBS TO REMOVE DEAD OR DAMAGED FOLIAGE - OR TO COMPENSATE FOR ROOT LOSS CAUSED BY TRANSPLANTING. MAKE CERTAIN TO RETAIN THE PLANT MATERIAL'S NATURAL FORM WHEN PRUNING. NEVER CUT THE CENTRAL GROWTH LEADER OF A TREE, OR INSTALL ANY TREE THAT HAS HAD THE CENTRAL GROWTH LEADER CUT. ALL TREES SHALL BE TRIMMED FOR CLEAR TRUNK UNLESS OTHERWISE SPECIFIED.
- WHERE PLANTING AREAS ABUT PAVEMENT, FINISHED SOIL LEVEL SHALL BE THREE INCHES (3") BELOW TOP OF PAVEMENT.
- ALL PLANTING AREAS SHALL RECEIVE MULCH AT THE RATE OF 1 CUBIC YARD PER 110 SF. OF AREA (THIS EQUALS A 3" MULCH DEPTH) - UNLESS OTHERWISE NOTED. SEE PLANT MATERIALS LIST FOR SPECIFICATIONS.
- KEEP MULCH SIX INCHES (6") BACK FROM ALL TREE TRUNKS.
- SOD SHALL BE INSTALLED WITH TIGHT JOINTS, ROLLED AND FERTILIZED AT TIME OF INSTALLATION. ALL SOD SHALL BE FREE OF NUISANCE SPECIES, INVASIVE AND EXOTIC WEEDS OR THEIR SEED.
- ALL REQUIRED MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL PROJECT ACCEPTANCE, BUT NO LESS THAN A PERIOD OF THIRTY (30) DAYS. RELOCATED MATERIALS AND OWNER SUPPLIED MATERIALS ARE EXEMPT.
- AFTER THE PROJECT IS ACCEPTED, THE LANDSCAPE CONTRACTOR SHALL SUPPLY THE OWNER WITH A TWELVE (12) MONTH WARRANTY COVERING THE PLANT MATERIAL (ENSURING PLANT HEALTH AND SATISFACTORY GROWTH) AND A COMPLETE MAINTENANCE PROGRAM TO BE FOLLOWED DURING AND AFTER THE WARRANTY PERIOD. DURING THE WARRANTY PERIOD THE LANDSCAPE CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR THEFT, VANDALISM, OR UNUSUAL ACTS OF GOD.
- THE LANDSCAPE CONTRACTOR IS ADVISED TO CALL SUNSHINE STATE ONE (1-800-432-4770) TO FIELD LOCATE EXISTING UTILITIES AND SECURE A PERMIT NUMBER PRIOR TO BEGINNING WORK. USE DUE CAUTION AROUND THE UTILITIES. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITIES.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR.

PLANTING DIRECTIONS

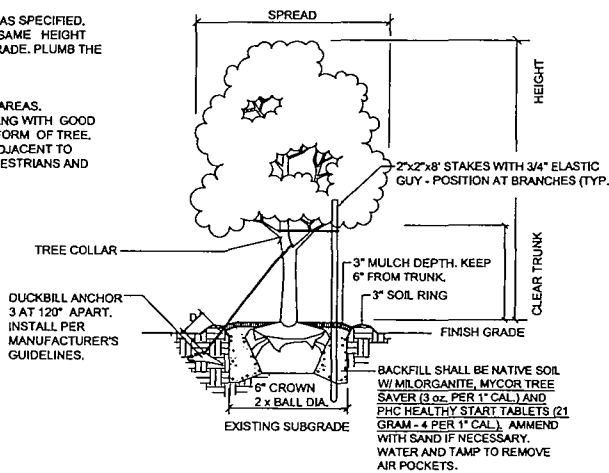
- EXCAVATE PLANTING HOLE AND SET TREE IN PIT AS SPECIFIED.
- SET TOP-MOST ROOT IN THE ROOT BALL AT THE SAME HEIGHT OR SLIGHTLY (2 INCHES) HIGHER THAN FINISH GRADE. PLUMB THE TREE SO THE TRUNK IS VERTICAL.
- BACKFILL AS DIRECTED BELOW.
- INSTALL 3" SOIL RING FOR HAND WATERING.
- PROVIDE 4" DIA. MULCH RING FOR TREES IN SOD AREAS.
- PRUNE DEAD AND DAMAGED BRANCHES IN KEEPING WITH GOOD HORTICULTURAL PRACTICES. RETAIN NATURAL FORM OF TREE. DO NOT CUT CENTRAL LEADER. PRUNE LIMBS ADJACENT TO WALKS AND CURBS TO PREVENT INJURY TO PEDESTRIANS AND BICYCLE RIDERS.

STAKING DIRECTIONS (TREES 0"-2" CAL.)

- ALL TREES TO BE STAKED UNLESS OTHERWISE NOTED IN GENERAL OR SPECIFIC NOTES.
- STAKE TREES ACCORDING TO CALIPER SIZE OR (UNLESS OTHERWISE SPECIFIED) 0-1"; 1 VERTICAL STAKE. TIE TRUNK TO STAKE WITH GREEN NURSERY TAPE. 1"-2"; 2 VERTICAL STAKES. SECURE WITH GUY AS SHOWN.

DUCKBILL ANCHOR DIRECTIONS (TREES 2" CAL.)

- 2"-3" CALIPER TREES:
MODEL 40 DTS KIT
D = 18-20"
- 3"-6" CALIPER TREES:
MODEL 58 DTS KIT
D = 2" - 2-1/2"
- 6"-10" CALIPER TREES:
MODEL 88 DTS KIT
D = 3" - 3-1/2"



NOTE: SEE NOTES TO DETERMINE IF ORGANIC OR OTHER UNLISTED SOIL AMENDMENTS ARE REQUIRED AND PLANT MATERIALS LIST FOR STAKING AND TREEWRAP REQUIREMENTS.

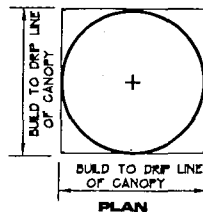
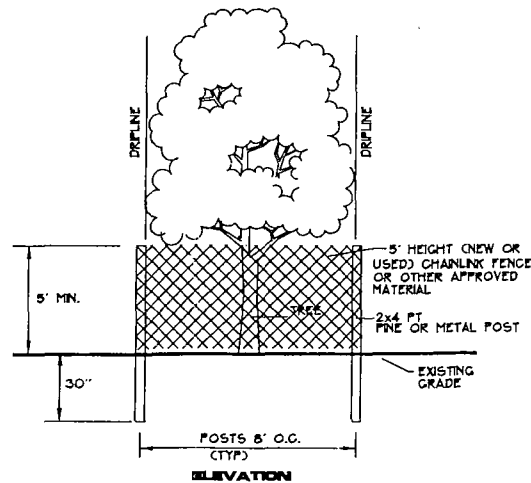
TREE

PLANTING DETAIL

NOT TO SCALE

IRRIGATION NOTES

- REVIEW THE IRRIGATION NOTES, LEGEND, DETAILS, PLAN AND WRITTEN SPECIFICATIONS. THE IRRIGATION CONTRACTOR SHALL BE HELD RESPONSIBLE FOR IMPLEMENTING THE IRRIGATION PLAN AS DRAWN AND DIRECTED BY THE NOTES AND SPECIFICATIONS. CONTACT THE LANDSCAPE ARCHITECT WHEN SIGNIFICANT FIELD CHANGES REQUIRE PLAN AND BEFORE MAKING ANY MATERIAL SUBSTITUTIONS.
- PRIOR TO SUBMITTING THE BID, THE IRRIGATION CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS. SEE ENGINEERING DRAWINGS FOR ADDITIONAL SITE INFORMATION.
- WHEN AN EXISTING IRRIGATION PLAN IS NOTED ON THE PLAN, THE IRRIGATION CONTRACTOR SHALL INSPECT IT BEFORE SUBMITTING A BID AND NOTE ANY MODIFICATIONS REQUIRED ON THE IRRIGATION PLAN.
- ALL QUESTIONS CONCERNING THE IRRIGATION PLAN OR SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT (941) 746-8664.
- IRRIGATION CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS.
- ALL IRRIGATION PRODUCTS SHALL BE AS SPECIFIED IN THE IRRIGATION SCHEDULE FOR BID PURPOSES. ANY SUBSTITUTIONS WILL CONSIDERED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- BEFORE FINAL ACCEPTANCE OF THE COMPLETED IRRIGATION INSTALLATION, THE IRRIGATION CONTRACTOR SHALL PREPARE AND SUBMIT TO THE OWNER A COMPLETE SET OF AS-BUILT IRRIGATION DRAWINGS RENDERED ON REPRODUCIBLE-QUALITY MYLAR OR SEPIA. IRRIGATION CONTRACTOR SHALL PROVIDE COPIES OF MANUALS AND WARRANTY INFORMATION FOR ALL MATERIALS PROVIDED.
- INSTALLATION OF THE IRRIGATION SYSTEM IS TO BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANNER AS TO ALLOW FOR SPEEDY AND ORDERLY COMPLETION OF ALL WORK.
- THE IRRIGATION PLAN IS DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD-TO-HEAD SPACING. ANY FIELD CHANGES OR ADDITIONS SHALL BE MADE IN ACCORDANCE WITH THESE STANDARDS. ADJUST ALL RADII FOR 100% COVERAGE WITH MINIMUM OVERSPRAY ONTO PAVED AREAS.
- IRRIGATION MAIN AND LATERAL LINES ARE SHOWN IN SCHEMATIC FORM ONLY. REFER TO THE LANDSCAPE PLAN AND COORDINATE HEAD PLACEMENT ACCORDINGLY. LOCATE VALVES AND OTHER IRRIGATION EQUIPMENT IN PLANTING AREAS TO PROVIDE BEST ACCESSIBILITY AND CONCEALMENT. ALL MAIN AND LATERAL IRRIGATION LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF TWELVE INCHES (12").
- A MOISTURE SENSING DEVICE SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. SEE MATERIALS SCHEDULE. INSTALL OUTSIDE OF THE SPRAY PATTERN OF ALL HEADS.
- ALL VALVES AND ELECTRIC CONTROL WIRE SPLICES SHALL BE LOCATED IN 'AMATEK' VALVE BOXES (OR APPROVED EQUAL) AS FOLLOWS: SECTION VALVES - TEN INCH (10") CIRCULAR MODEL WITH COVER; GATE VALVES AND SPLICES - FIVE AND ONE-QUARTER INCH (5-1/4") POLYRON MODEL WITH COVER. ALL VALVE BOXES SHALL BE INSTALLED AT GRADE.
- ALL IRRIGATION LINES UNDER PAVEMENT SHALL BE SLEEVED AS INDICATED.
- ELECTRIC CONTROL WIRING SHALL BE MANUFACTURED FOR DIRECT BURIAL. ALL WIRE SPLICES SHALL USE 3M DBY CONNECTORS (OR APPROVED EQUIVALENT). SIZE ALL WIRE TO EFFICIENTLY DELIVER REQUIRED CURRENT IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- ALL POP-UP SPRAYS AND ROTORS SHALL BE MOUNTED ON AN EIGHTEEN INCH MINIMUM (18" MIN.) LENGTH OF HARDIE SUPER BLUE-FLEX HOSE (OR APPROVED EQUAL).
- LOCATE ALL POP-UP SPRAYS AGAINST BACK FACE OF RAISED CURBS WHEN SHOWN IN THIS LOCATION ON PLAN.
- ALL POP-UP SPRAY HEADS IN SOD AREAS ADJACENT TO WALKS, DRIVEWAYS, AND PARKING AREAS SHALL BE INSTALLED WITH CONCRETE DONUTS.
- ALL SHRUB HEADS SHALL BE EXTENDED THREE INCHES (3") ABOVE THE AVERAGE HEIGHT OF INSTALLED PLANT MATERIAL ON BLACK PVC RISERS (OR PVC RISERS PAINTED BLACK).
- FIELD-ADJUST PIPE LOCATIONS AROUND EXISTING TREES TO MINIMIZE ROOT DAMAGE. DO NOT CUT ROOTS LARGER THEN TWO INCHES (2") IN DIAMETER. CONSULT WITH LANDSCAPE ARCHITECT AS NEEDED.
- AFTER ALL IRRIGATION AND PLANT MATERIALS HAVE BEEN INSTALLED AND BEFORE AN INSPECTION OF THE JOB IS CALLED, CHECK ALL HEADS FOR GOOD WORKING ORDER. ADJUST POP-UPS TO BE PLUMB AND FLUSH WITH GRADE. CLEAN OUT CLOGGED NOZZLES; AND ADJUST RADII TO PROVIDE MAXIMUM COVERAGE WITH MINIMUM OVERTHROW.



- NOTE:
- TREE PROTECTIVE BARRICADES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - NO IMPROVEMENTS, FILL GRADE CHANGES OR COMPACTION OF SOIL DUE TO HEAVY MACHINERY WILL BE PERMITTED WITHIN THE DRP LINE OF TREES PROPOSED TO BE PRESERVED.

TREE PROTECTION DETAIL

NOT TO SCALE

PLANT MATERIAL LIST

NOTE: ALL PLANT MATERIAL TO MEET CRITERIA LISTED BELOW AND BE FLORIDA #1 QUALITY DETERMINED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES GRADES AND STANDARDS FOR NURSERY PLANTS 2ND EDITION (FEB. 1998 P# 977-05).

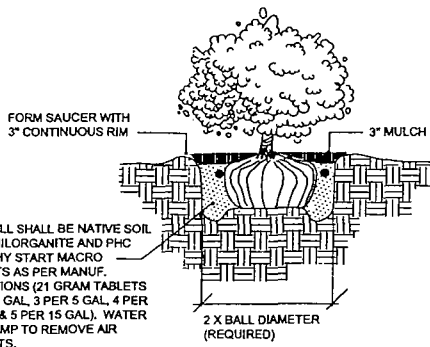
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
19	IA	East Palatka Holly	Ilex attenuata 'East Palatka'	10' Ht. x 4' Spr., 3" Cal., Accelerator Grown
21	LI	Crape Myrtle	Lagerstroemia indica 'Natchez'	8' Ht. x 4' Spr., multi-trunk, B&B
52	SP	Sabal Palm	Sabal palmetto	C.T. as noted, hurricane cut. Clean & Straight, B&B
99	Canopy Tree			
LS		Sweetgum	Liquidambar styraciflua	12-14' Ht x 4' Spr. Min., 3" Cal. Min., B&B
PE		Slash Pine	Pinus elliotii	10-12' Ht. x 4' Spr., 3" Cal., B&B
QV		Live Oak	Quercus virginiana	12-14' Ht. x 5' Spr. Min., 3" Cal. Min., B&B
TD		Bald Cypress	Taxodium distichum	25 Gal., 10' Ht. x 42" Spr., 3" Cal.
410	VO	Sweet Viburnum	Viburnum odoratissimum	3 Gal., 24" Ht., 3" O.C., full
MULCH		Shredded Eucalyptus Bark	Mulch	Grade "A", bags. Square Feet.
SOD		Bahia Argentine Sod	Paspalum notatum	Clean & weed free, sand grown. Square Feet.

- IF BURLAP IS PRESENT ROLL TO 1/3 OF FABRIC INTO PIT.
- ROOTBALL SHALL BE AT SAME GRADE AS ITS ORIGINAL SETTING AND PLUMB.
- FRONDS SHALL BE TIED UP FOR PROTECTION OF BUDS. LARGE DATE PALMS AND ALL FAN PALMS SHALL REMAIN TIED FOR 1 MONTH MINIMUM. PALMS WITH DAMAGED BUDS WILL NOT BE ACCEPTED.
- TRUNK SHALL BE FREE OF SCARS, BURNS, HOLES, ETC.
- ROOTBALL SHALL HAVE 16" MINIMUM RADIUS FROM TRUNK.
- INSTALL 4" DIAMETER MULCH RING AROUND ALL PALMS IN SOD AREAS.

STAKING DIRECTIONS:

- 2"x4"x8" BRACES 120" APART NAILED TO
- 2"x4"x12" SEATS WIRE-BANDED OVER 5 LAYERS OF BURLAP WRAP (1) 2"x4"x30" STAKE EACH.

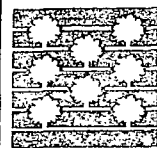
BACKFILL SHALL BE NATIVE SOIL AMENDED WITH MYCOR PALM SAVER AND SAND, IF REQUIRED, FOR DRAINAGE. WATER AND TAMP TO REMOVE AIR POCKETS



NOTE: SEE GENERAL NOTES TO DETERMINE IF ADDITIONAL SOIL AMENDMENTS ARE REQUIRED.

SHRUB & GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



John Moody
ASSOCIATES
Landscape Architecture, Urban Design
Environmental Planning

135 Old Town Hall, Suite 200
100 N. 1st St., Ft. Lauderdale, FL 33301

REVISIONS:
04/05/10 Project Boundary Limits Added

Florida

CHECKED:

DATE: 04/05/10
FILE NAME: 04-05-10-01

PROJECT STATUS:

Manatee Technical Institute
SR 70
School Site Plan

Manatee County
PREPARED FOR

Landscape
Notes &
Details

SHEET

L-5 of 5

BCC: June 3, 2010

Agenda Item #: 4

Resolution 10-090 – SSP-10-01

MTI Caruso Road School Site

Revisions to the Wetland Acreage and Impacts section of the Staff Report and the Resolution - see attached in strike/through underline format.

WETLAND ACREAGE & IMPACTS	
Overall Wetland Acreage:	0.67 ± acres of the 29.9 ± acres
Proposed Impact Acreage:	None
<u>Wetlands</u> There are 0.67± acres of wetlands onsite. No wetland/buffer impacts are proposed. Prior to occupancy of the building, conservations easements for wetlands and wetland buffers shall be dedicated to Manatee County in accordance with Section 719.11.1.3 of the LDC. <u>Upland Habitat</u> There are no native upland habitats within this project area. <u>Threatened and Endangered Species</u> A listed species evaluation has been conducted and none were observed on this site. <u>Trees</u> There are 205 existing trees onsite. The applicant is preserving 65 trees. 143 trees will be provided as replacements trees (in accordance with Section 714 of the LDC). The ± 9.4 acre heavily forested area north of SR 70 is classified as “tree crops”. Plantation <u>Planted</u> Pines are exempt from LDC Section 714 tree replacement requirements. The calculations noted above do not include planted pines. <u>Water Quality/Contamination</u> Erosion and sediment control information was not provided for review with this School Site Plan. It is our understanding that erosion control details will be reviewed by SWFWMD.	

RESOLUTION R-10-0090
MTI – CARUSO ROAD SCHOOL SITE
SSP-10-01 – DTS#20100101

A Resolution of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a School Site Plan submitted by the Manatee County School Board – MTI Caruso Road School Site on approximately 29.9 ± acres, located approximately 545 ± feet east of the northeast corner of S.R. 70 and Caruso Road at 6545 SR 70 East, Bradenton; providing for development standards and conditions setting forth findings; providing for severability, and providing for an effective date.

WHEREAS, the Manatee County School Board (the “Applicant”) has filed an application for a School Site Plan (SSP-10-01) depicting one proposed school site within approximately 29.9± acre portion of a total parcel consisting of 191.66± acres, described in Exhibit “A”, attached hereto and make of part hereof by reference, (the “School Site Plan”); and

WHEREAS, the Planning staff has recommended approval of the School Site Plan as described in the Planning staff report.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF MANATEE COUNTY, FLORIDA:

Section 1. FINDINGS OF FACT. The recitals set forth above are true and correct and are hereby adopted as findings by the Board of County Commissioners. The Board of County Commissioners of Manatee County, after considering the testimony, evidence, documentation, application for the School Site Plan, the recommendation and findings of staff, as well as all other matters presented to the Board at the public hearing hereinafter referenced, hereby makes the following findings of fact:

A. The Board of County Commissioners has received and considered the report of staff concerning the application for a School Site Plan as it relates to the real property described in Exhibit “A” of this Ordinance.

B. The Board of County Commissioners, after due public notice, held a public hearing on June 3, 2010 regarding the proposed School Site Plan described herein in accordance with the requirements of Manatee County Land Development Code and has further considered the information received at the public hearing.

C. The Board of County Commissioners hereby finds that the School Site Plan depicting the location of the proposed Manatee Technical Institute (MTI) consisting of approximately 215,000 square feet with a future expansion of a maximum of 35,000 square feet on the ±29.9 acre portion of the overall ±191.66 acre site complies with the standards set forth in LDC Section 520.

Section 2. SCHOOL SITE PLAN. A School Site Plan is hereby approved for a proposed school site as follows: for a future Manatee Technical Institute (MTI) with a maximum of 215,000 square feet and future expansion of a maximum of 35,000 square feet, on ±29.9 acres; subject to the following Stipulations:

STIPULATIONS

A. NATURAL RESOURCES

1. An ERP approved by SWFWMD shall be provided to NRD for review prior to commencement of construction.

2. Two separate inspections by NRD staff are required prior to authorization of construction and/or land clearing activities:
 - The applicant is authorized to stake erosion and sediment control (ESC) device and tree barricade locations. After staking ESC measures, NRD staff must be contacted to inspect the staked locations.
 - After the installation of ESC devices and tree barricades have been completed, a second inspection is required to ensure adequacy.
 - The contractor's name and contact information shall be provided to NRD staff prior to commencement of construction.
3. The following items must be completed in accordance with the approved School Board Site and inspected by NRD staff prior to occupancy:
 - Nuisance, exotic plant species removal in accordance with the approved Landscape Plans. Ongoing management events shall provide for the continues removal of nuisance species that become re-established within open spaces for the life of the project.
 - Wetland buffer restoration, in accordance with the WilsonMiller plan submitted 4/8/10.
 - Conservation Easement area sign installation (locations and details are subject to NRD staff approval).
 - Dedication of Conservation Easement to Manatee County for the areas defined as post-development jurisdictional wetlands and wetland buffers.

B. HEALTH DEPARTMENT

1. A permit for the water distribution system is required from the Health Department prior to start of construction.
2. The primary licensing agency for *public* schools is the Department of Education and the local School Board. Their approval of this project is required. *All* school plants must conform to 64E-13, Florida Administrative Code. In addition, any school that serves food must meet the requirements of Chapter 64E-11, Florida Administrative Code prior to licensure. Prior to construction, plans of the facility and its operation shall be submitted to and approved by the Manatee County Health Department. Plans may be submitted by the owner, prospective operator or their designated representative. All plans shall comply with the requirements of this chapter.

C. STORMWATER MANAGEMENT

1. A copy of the Construction Plans and drainage calculations shall be provided to the Stormwater Management Division when application is made to SWFWMD.

~~Section 3. EFFECT OF REVIEW IN CONSIDERATION OF SCHOOL SITE PLAN.~~ The School Site Plan shall serve only as a planning tool and shall not be relied upon for determinations of satisfying the school concurrency requirements in Chapter 163, Part II, Florida Statutes.

Section 3. FINDING OF CONSISTENCY. The Board of County Commissioners hereby finds the School Site Plan (SSP-10-01) consistent with the Comprehensive Plan in regard to impacts on natural resources, surrounding land uses and public facilities and with Sec. 520.5, LDC.

Section 4. SEVERABILITY. If any section, sentence, clause, or other provision of this Resolution shall be held to be invalid or unconstitutional by a court of competent jurisdiction, such section, sentence, clause, or provision shall be deemed severable, and such invalidity or unconstitutionality shall not be construed as to render invalid or unconstitutional the remaining sections, sentences, clauses, or provisions of this Resolution.

Section 5. CODIFICATION. Pursuant to § 125.68(1), Florida Statutes, this resolution is not required to be codified. Therefore, the Clerk shall not transmit the resolution for codification.

Section 6. EFFECTIVE DATE. This resolution shall take effect immediately upon adoption.

PASSED AND DULY ADOPTED, by the Board of County Commissioners of Manatee County, Florida on the 3rd day of June, 2010.

**BOARD OF COUNTY COMMISSIONERS
OF MANATEE COUNTY, FLORIDA**

BY: _____
Donna G. Hayes, Chairman

ATTEST: R. B. SHORE
Clerk of the Circuit Court

BY: _____
Deputy Clerk

EXHIBIT "A"

DESCRIPTION:

THAT 29.9 ACRE \pm PARCEL OF THE FOLLOWING DESCRIBED PROPERTY AS SHOWN ON THE SCHOOL SITE PLAN.

THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

TOGETHER WITH:

THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

TOGETHER WITH:

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER LYING NORTH OF HIGHWAY 70 IN SECTION 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

TOGETHER WITH:

THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER LYING NORTH OF HIGHWAY 70 IN SECTION 14, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

LESS:

RIGHT-OF-WAY DEDICATIONS AS RECORDED IN OFFICIAL RECORDS BOOK 2143, PAGE 1940, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

RIGHT-OF-WAY DEDICATION #1

COMMENCE AT THE SECTION CORNER COMMON TO SECTIONS 10, 11, 14 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST; THENCE S00°09'22"W, ALONG THE WEST LINE OF SAID SECTION 14, A DISTANCE OF 290.88 FT. TO THE INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY OF STATE ROAD 70, AS SHOWN ON F.D.O.T. RIGHT-OF-WAY MAP, SECTION 13160-2516; THENCE S89°41'33"E, ALONG SAID NORTHERLY RIGHT-OF-WAY, A DISTANCE OF 1553.40 FT. TO THE P.C. OF A CURVE, CONCAVE TO THE SOUTH, HAVING A RADIUS OF 2944.79 FT.; THENCE RUN EASTERLY, ALONG SAID NORTHERLY RIGHT-OF-WAY AND THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 00°02'25", A DISTANCE OF 2.07 FT. FOR A POINT OF BEGINNING; THENCE CONTINUE, ALONG SAID NORTHERLY RIGHT-OF-WAY AND THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 01°04'14", A DISTANCE OF 55.02 FT. TO THE INTERSECTION WITH THE WESTERLY LINE OF CAMPBELL COMMERCIAL SUBDIVISION, AS RECORDED IN PLAT BOOK 23, PAGE 141, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE N00°51'41"W, ALONG SAID WESTERLY LINE, A DISTANCE OF 288.78 FT.; THENCE N00°41'55"W, ALONG SAID WESTERLY LINE, A DISTANCE OF 20.74 FT.; THENCE N90°00'00"W, 55.00 FT.; THENCE S00°41'55"E, 21.49 FT.; THENCE S00°51'41"E, A DISTANCE OF 287.18 FT. TO THE POINT OF BEGINNING, BEING AND LYING IN SECTIONS 11 AND 14, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

AND:

RIGHT-OF-WAY DEDICATION #2

COMMENCE AT THE SECTION CORNER COMMON TO SECTIONS 10, 11, 14 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST; THENCE S00°09'22"W, ALONG THE EAST LINE OF SAID SECTION 15, A DISTANCE OF 290.88 FT. TO THE INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY OF STATE ROAD 70, AS SHOWN ON F.D.O.T. RIGHT-OF-WAY MAP, SECTION 13160-2516; THENCE N89°41'33"W, ALONG SAID NORTHERLY RIGHT-OF-WAY, A DISTANCE OF 1238.90 FT. FOR A POINT OF BEGINNING; THENCE CONTINUE N89°41'33"W, ALONG SAID NORTHERLY RIGHT-OF-WAY, A DISTANCE OF 44.37 FT. TO THE INTERSECTION WITH THE EASTERLY MAINTAINED RIGHT-OF-WAY OF CARUSO ROAD AS RECORDED IN ROAD PLAT BOOK 9, PAGES 90 THROUGH 100, PUBLIC RECORDS OF MANATEE COUNTY, FLORIDA; THENCE N00°55'25"W, ALONG SAID EASTERLY MAINTAINED RIGHT-OF-WAY, A DISTANCE OF 289.83 FT. TO THE INTERSECTION WITH THE SECTION LINE COMMON TO SAID SECTIONS 10 AND 15; THENCE CONTINUE N00°55'25"W, ALONG SAID EASTERLY MAINTAINED RIGHT-OF-WAY, A DISTANCE OF 1602.84 FT.; THENCE N00°45'58"W, ALONG SAID EASTERLY MAINTAINED RIGHT-OF-WAY, A DISTANCE OF 1043.37 FT. TO THE SOUTHWEST CORNER OF LOT 1 OF DUDE RANCH ACRES, A SUBDIVISION AS RECORDED IN PLAT BOOK 12, PAGE 29, SAID PUBLIC RECORDS; THENCE S89°48'19"E, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 45.01 FT.; THENCE S00°58'58"E, A DISTANCE OF 2645.56 FT. TO THE INTERSECTION WITH AFORESAID COMMON LINE TO SECTIONS 10 AND 15; THENCE S00°18'25"W, A DISTANCE OF 290.62 FT. TO THE POINT OF BEGINNING, BEING AND LYING IN SECTIONS 10 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA.

ALL OF THE ABOVE BEING AND LYING IN SECTIONS 10, 11, 14 AND 15, TOWNSHIP 35 SOUTH, RANGE 18 EAST, MANATEE COUNTY, FLORIDA, AND CONTAINING 191.66 ACRES, MORE OR LESS.

SM\Forms\Manatee County\Braden River High Site less rw takings-rev

4

IF YOU WISH TO ADDRESS THE BOARD DURING A
PUBLIC HEARING ON TODAY'S AGENDA, PLEASE
COMPLETE THIS FORM. THANK YOU.

Individuals wishing to speak on any Public Hearing
matter must indicate so by filling out this form and
returning it to the Clerk prior to the beginning of the
Public Hearing.

PLEASE PRINT

Name

Betty Fairchild

Address

6410 48th AVE DYE

Representing

SELF

Public Hearing matter on which you want to speak:

MTI

Please check one for each #:

1. Are you in favor: ☒
opposed: ☐

- 2A. Speaking as an individual? Yes ☒

OR

- 2B. If you are speaking as an official representative
of a group: **

Name of Group:

** You are required to provide the Clerk with written
evidence of your authority to speak on behalf of the
organization or group you represent for land use
public hearings.

3. Do you have a visual presentation or other
evidence to be submitted to the Board?

Yes ☐

No ☒

4. Do you wish to be notified of any subsequent
dispute resolution proceedings?

Yes ☐

No ☐

* Designation in favor or opposed is required solely for
determination of the order of appearance. The number of
people for or against a matter is not considered by the
Board with regard to whether to approve or deny the
matter.