



April 20, 2026- Hearing Officer

Subject

VA-25-09 – Manatee County Lift Station Building Variance - PLN2510-0235 - Quasi-Judicial-Loretta Merrill, Senior Planner - District 3

Approval of a variance to the rear yard setback requirement established by the Neighborhood Commercial Medium (NC-M) Zoning District, reducing the required side yard setback from 10 feet to 3.83 feet and the required rear yard setback from 20 feet to 1.17 feet for a lift station structure, due to bona fide staff error. The site being located at 8720 Cortez Rd W, Bradenton (Manatee County), on approximately 0.18 acres.

Category

ADVERTISED PUBLIC HEARINGS (Presentation Scheduled)

Briefings

Briefing Provided Upon Request

Contact and/or Presenter Information

Presenter: Loretta Merrill, Senior Planner, 941-748-4501 x 3880,
Loretta.Merrill@mymanatee.org

Contact: Abigail Bonds, Planning and Zoning Tech III, 941-748-4501 x3927,
Abigail.bonds@mymanatee.org

Action Requested

N/A

Enabling/Regulating Authority

N/A

Applicable Advisory Board

N/A

Background Discussion

- The Manatee County Utilities Department is requesting the approval of a variance to the side and rear yard setback requirements established by the Neighborhood Commercial Medium zoning district, reducing the required side yard setback from 10 feet to 3.83 feet (61.7% decrease) and the required rear yard setback from 20 feet to 1.17 feet (94.15% decrease), due to bona fide staff error. The discrepancy was the result of a bona fide staff error during the original permitting/review process.
- The subject property is Parcel ID is 7500610006, located at 8720 Cortez Rd W, Bradenton (Manatee County), hereinafter the "Property".

- In April 2024, permit application BLD2402-0056 was submitted by the Manatee County Utilities Department for a new concrete lift station structure. During the design phase, neither Manatee County Utilities nor the design engineer were aware of any required setbacks from the property line. A former Manatee County Development Services Planning and Zoning Technician reviewed and erroneously approved the building permit site plan on August 8, 2024. The permit was subsequently issued, and construction commenced. On October 22, 2025, Planning and Zoning staff received an email from the Utilities Department requesting that a condition of the building permit be satisfied to schedule a final inspection. Upon further review, errors were identified in the previously approved permit. The Permit was placed on hold, prohibiting any further inspections or construction until the structure either complies with the applicable zoning district setbacks or an approved variance is obtained. Development Services Planning staff also identified that the side yard setback was also in violation of the setback established by the Neighborhood Commercial Medium zoning district.
- The structure may also be located within a wetland buffer. Based on Manatee County GIS available databases, there appears to be an off-site wetland to the subject site to the north and west. Per Florida Department of Environmental Protection (FDEP) Permit ID 0397141-001-EG issued May 01, 2021, there were no wetlands identified on the Site Plan. Wetlands and wetland buffers were not analyzed further due to the area of work being with an existing developed project and within an existing fenced utility area. All applicable state or federal permits shall be obtained.

Attorney Review

Other (Requires explanation in field below) Welch

Kate Welch reviewed and responded by email to Matter #FY 25/26-0226 on March 17, 2026.

Instructions to Board Records

N/A

Cost and Funds Source Account Number and Name

N/A

Amount and Frequency of Recurring Costs

N/A

H.O. April 20, 2026

VA-25-09 – Manatee County Lift Station Building Variance
(PLN2510-0235)

Approval of a variance to the rear yard setback requirement established by the Neighborhood Commercial Medium (NC-M) zoning district, reducing the required side yard setback from 10 feet to 3.83 feet and the required rear yard setback from 20 feet to 1.17 feet for a lift station structure, due to bona fide staff error. The site being located at 8720 Cortez Rd W, Bradenton (Manatee County), identified as Parcel ID 7500610006 and contains approximately 0.18 acres. This action provides for severability and an effective date.

Hearing Officer: April 20, 2026

PROJECT SUMMARY	
CASE#:	VA-25-09 (PLN2510-0235)
PROJECT NAME:	Manatee County Lift Station Building Variance
APPLICANT(S):	Manatee County
REQUEST:	<p>Approval of a variance to the setback requirements established by the Neighborhood Commercial Medium zoning district:</p> <ul style="list-style-type: none"> • Reducing the required side yard setback from 10 feet to 3.83 feet (61.7% decrease) • Reducing the required rear yard setback from 20 feet to 1.17 feet (94.15% decrease) <p>This is due to a bona fide staff error.</p>
CASE PLANNER:	Loretta Merrill, Senior Planner
SITE CHARACTERISTICS	
ADDRESS:	8720 Cortez Rd W, Bradenton, 34210 ("Property")
PARCEL ID:	7500610006
GENERAL LOCATION:	Generally located on the north side of Cortez Rd W (SR-684 / 44 th Ave W), approximately 885 ft west of Palma Sola Blvd, Bradenton (Manatee County)
SIZE:	8,000 square feet (0.18 acres)
EXISTING USE(S):	Manatee County Lift Station
PREVIOUS APPROVAL(S):	Multiple Building Permits
ZONING:	NC-M (Neighborhood Commercial Medium)
FUTURE LAND USE CATEGORY:	P/SP-1 (Public/Semi-Public 1)
OVERLAY DISTRICT(S):	Coastal Overlays (CEA,CHH,CPA), Airport Surface Overlay (SUR)

STAFF SUMMARY

The Manatee County Utilities Department is requesting the approval of a variance to the side and rear yard setback requirements established by the Neighborhood Commercial Medium zoning district, reducing the required side yard setback from 10 feet to 3.83 feet (61.7% decrease) and the required rear yard setback from 20 feet to 1.17 feet (94.15% decrease), due to bona fide staff error. The discrepancy was the result of a bona fide staff error during the original permitting/review process.

The subject property is Parcel ID is 7500610006, located at 8720 Cortez Rd W, Bradenton (Manatee County), hereinafter the "Property".

The zoning is NC-M (Neighborhood Commercial Medium) The setbacks for this zoning category are:

- Front: 25 feet
- Side: 10 feet.
- Rear: 15 feet

The following is a summary of events leading up to this variance request.

In April 2024, permit application BLD2402-0056 was submitted by the Manatee County Utilities Department for a new concrete lift station structure. During the design phase, neither Manatee County Utilities nor the design engineer were aware of any required setbacks from the property line. A former Manatee County Development Services Planning and Zoning Technician reviewed and erroneously approved the building permit site plan on August 8, 2024. The permit was subsequently issued, and construction commenced. On October 22, 2025, Planning and Zoning staff received an email from the Utilities Department requesting that a condition of the building permit be satisfied to schedule a final inspection. Upon further review, errors were identified in the previously approved permit. The Permit was placed on hold, prohibiting any further inspections or construction until the structure either complies with the applicable zoning district setbacks or an approved variance is obtained. Development Services Planning staff also identified that the side yard setback was also in violation of the setback established by the Neighborhood Commercial Medium zoning district.

The structure may also be located within a wetland buffer. Based on Manatee County GIS available databases, there appears to be an off-site wetland to the subject site to the north and west. Per Florida Department of Environmental Protection (FDEP) Permit ID 0397141-001-EG issued May 01, 2021, there were no wetlands identified on the Site Plan. Wetlands and wetland buffers were not analyzed further due to the area of work being with an existing developed project and within an existing fenced utility area. All applicable state or federal permits shall be obtained.

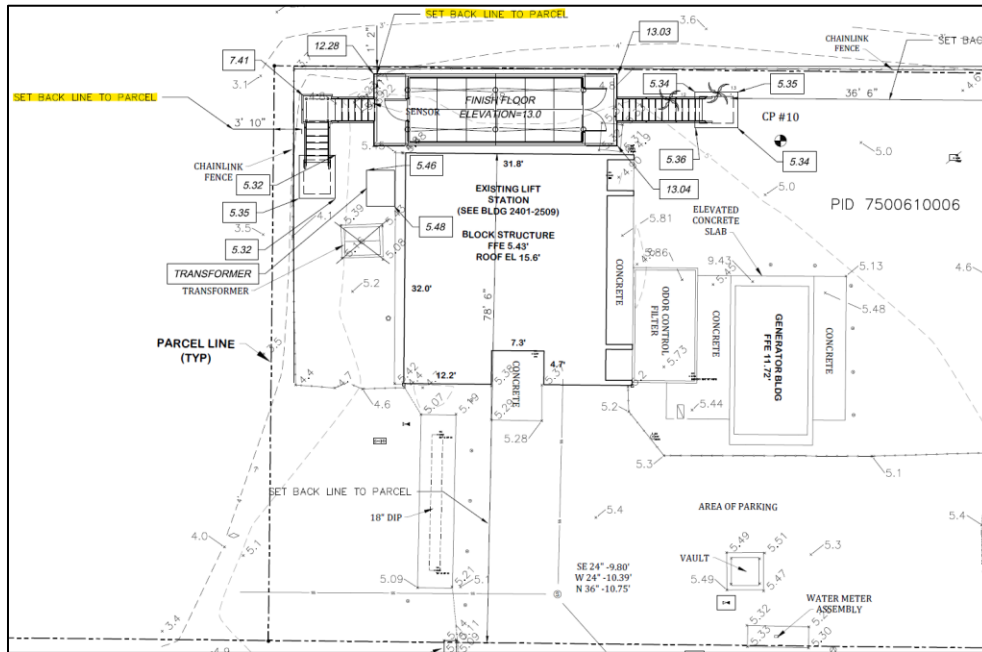


Figure 1: As-Built Site Plan



Figure 2: GIS Aerial Photo

SURROUNDING USES & ZONING			
NORTH	Wetlands portion of multifamily planned development / PD-R		
SOUTH	Mini-Warehouse / GC		
EAST	General Retail / NC-M		
WEST	Wetlands / PD-R		
SITE DESIGN DETAILS			
LOT SIZE:	± 0.18 acres (8,000 square feet)		
SETBACKS:		Required	Proposed
	Front	25'	25'
	Side (East)	10'	10'
	Side (West)	10'	3.83'
	Rear	15'	1.17'
ACCESS:	One access point on Cortez Road		

COMPLIANCE WITH THE LAND DEVELOPMENT CODE
Prohibitions on Granting a Variance (LDC Section 367.2)
Review Criteria (LDC Section 367.5)

Section 367.2. - Prohibitions.

Even if a requested variance complies with the requirements of this Section, such variance shall not be granted if such variance:

A. Allows the expansion or establishment of a use in a zone or district in which such use is not permitted by this Code;

The variance being requested pertains solely to the departure from the dimensional regulation of side and rear setbacks, and as such, does not propose an expansion or the establishment of a use that is not currently permitted in the NC-M zoning district as established by the Manatee County LDC.

B. Permits the establishment or expansion of a use without the required review process;

The variance being requested pertains solely to the departure from a dimensional regulation. The expansion of the lift station has previously completed all required review and approval processes.

C. Relates in any way to a nonconforming use, except to the extent such a use has been approved pursuant to this Code;

The variance being requested pertains solely to the departure from a dimensional regulation and has no relationship to any nonconforming uses.

D. Modifies the Concurrency Management requirements (Chapter 3, Part VIII);

The variance being requested pertains solely to the departure from a dimensional regulation and does not modify applicable Concurrency Management requirements.

E. Purports to modify any definitions set forth in Chapter 2, Definitions;

The variance being requested pertains solely to the departure from a dimensional regulation and proposes no modifications to any definitions which have been set forth in Chapter 2 of the LDC.

F. Results in an increase in density above that permitted in the applicable zoning district regulations;

The variance being requested pertains solely to the departure from a dimensional regulation. It does not result in an increase in density above that permitted in the P/SP-1 (Public/Semi-Public 1) Future Land Use Category.

G. Relaxes any requirements for accessibility by individuals with disabilities;

The variances being requested pertains solely to the departure from a dimensional regulation and does not relax any requirements for accessibility by individuals with disabilities.

H. Pertains to the visibility triangle (Section 1002);

The variances being requested pertain to setbacks in the rear of the property. They do not impact any visibility triangles.

I. Pertains to impact fees (Chapter 11);

The variances being requested pertains solely to the departure from a dimensional regulation and does not pertain to impact fees.

J. Wetlands and Cultural Resources;

It is Environmental Planning Section Staff's understanding that this proposal is for a Variance of an existing Master Lift Station totaling 0.1837 acres, located at 8720 Cortez Rd W, Bradenton, and within the Coastal Planning Overlays (CPA, CHHA, CEA). The completed construction related to the rehabilitation and flood mitigation for critical electrical components, protecting equipment during hurricanes and other weather events, which is critical to the safety of the environment and the residents of Manatee County. Due to space limitations on the existing developed site, the new building was installed within the required rear setback of the property.

Based on Manatee County GIS available databases, there appears to be an off-site wetland to the subject site to the north and west. Per Florida Department of Environmental Protection (FDEP) Permit ID 0397141-001-EG issued May 01, 2021, there were no wetlands identified on the Site Plan. Wetlands and wetland buffers were not analyzed further due to the area of work being with an existing developed project and within an existing fenced utility area. All applicable state or federal permits shall be obtained.

K. Watershed Overlays;

The Property is not located in a Watershed Overlay.

L. Will be inconsistent with the Manatee County Comprehensive Plan;

The requested variance is for an exception from a minimum dimensional standard. The alleged hardship is due to a bona fide staff error. The request is for the minimum variance necessary to allow this lift station structure to remain as part of critical utilities infrastructure.

M. Results in approval of any action which would violate any floodplain management provision of Manatee County; any floodplain management provision of the National Flood Insurance Program; and/or any floodplain management provision of the Community Rating System Program.

The variance being requested pertains solely to the departure from dimensional regulations and will not result in a violation of any floodplain management provisions of Manatee County, the National Flood Insurance Program, or the Community Rating System Program.

367.5. - Review Criteria.

All variances shall comply with the following criteria:

A. The particular physical surroundings, shape, topographical condition, or other physical or environmental condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

The particular physical shape of the Property creates a constraint that limits of where this critical infrastructure may be placed. Manatee County Utilities Department staff determined that the current placement was the optimal location for this critical utilities infrastructure. Due to bona fide staff error, the structure was built within the required setbacks.

B. The conditions upon which the request for a variance is based are unique to the parcel and would not be applicable, generally, to other property within the vicinity;

The request for variances to the required setbacks are unique to this parcel. Given the structure's location adjacent to wetlands, it has no impact on the adjacent property's use.

C. The variance is not based on any conditions, including financial, occupational, or ability, which are personal to the applicant as applied to the property involved in the application;

These variance requests are not based on the applicant's actions. The permit was approved due to bona fide staff error. The structure was then built based on the belief that the location met all applicable code requirements.

D. The alleged hardship has not been created by any person presently having an interest in the property or, if it was, it was created as a result of a bona fide error;

The basis for this variance request is due to bona fide staff error. A former Planning and Zoning technician erroneously approved the building permit site plan. This resulted in the construction of the structure within the required setbacks.

E. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the vicinity;

The variances requested do not create any detriment to the public welfare and do not impose any conditions that would prove injurious to any surrounding properties. Given the structure's location adjacent to wetlands, it has no impact on the adjacent property's use.

F. The proposed variance will not substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety;

The variances being requested are for a dimensional requirement and will not contribute to any substantial increase in congestion on the public streets, or increase the danger of fire, or endanger the public safety. The reduction in setbacks will not increase the danger of fire. The structure is a non-combustible, unoccupied utility facility with no adjacent structures within exposure distance (nearest building approximately 488 feet away). Fire department access and operational capability are not impacted. Therefore, from a Florida Fire Prevention Code perspective, the proposed setback reductions do not increase fire risk.

G. The variance granted is the minimum variance that will make possible the reasonable use of the property;

The requested variances are the minimum variances to allow the critical infrastructure lift station structure to remain.

H. The property cannot be put to a reasonable use which complies fully with the requirements of the Code unless the variance is granted; and

If these variance requests are denied the property can be put to a reasonable use but would require the Manatee County Utilities Department to incur significant cost to relocate the structure at the tax payer's expense.

I. A variance may be issued if it is found that it will correct a bona fide staff error that has led to construction that does not comply with the Code.

The requested variances are a direct result of a bona fide staff error which led to the structure's construction.

In April 2024, permit application BLD2402-0056 was submitted by the Manatee County Utilities Department for a new concrete lift station structure. During the design phase, neither Manatee County Utilities nor the design engineer were aware of any required setbacks from the property line. A former Manatee County Development Services Planning and Zoning Technician reviewed and erroneously approved the building permit site plan on August 8, 2024. The permit was subsequently issued, and construction commenced. On October 22, 2025, Planning and Zoning staff received an email from the Utilities Department requesting that a condition of the building permit be satisfied to schedule a final inspection.

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ATTACHMENTS

- 1. Staff Report Maps**
- 2. Hardship Narrative**
- 3. As-Built Survey (submitted as plot plan)**
- 4. Photographs**
- 5. FDEP Self-Certification (Permit ID 0397141-001-EG)**
- 6. FDEP Site Plan (Permit ID 0397141-001-EG)**
- 7. Affidavit of Publishing**

AERIAL



Parcel ID #(s) 7500610006

Project Name: Manatee County Lift Station Building Variance

Project #: VA-25-09

Accela #: PLN2510-0235

S/T/R: 01 35S 16E

Acreage: 0.18

Existing Zoning: NC-M

Existing FLU: P/SP-1

Overlays: CEA, CHH, CPA, SUR

Special Areas: SWTIF

CHH: Yes

Watershed: NONE

Drainage Basin: DIRECT RUNOFF TO BAY

Commissioner: Tal Siddique

Manatee County

Staff Report Map

Map Prepared 1 / 2026

0 570 1,140 Feet

AERIAL



Parcel ID #(s) 7500610006

Project Name: Manatee County Lift Station Building Variance

Project #: VA-25-09

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CHH: Yes

Watershed: NONE

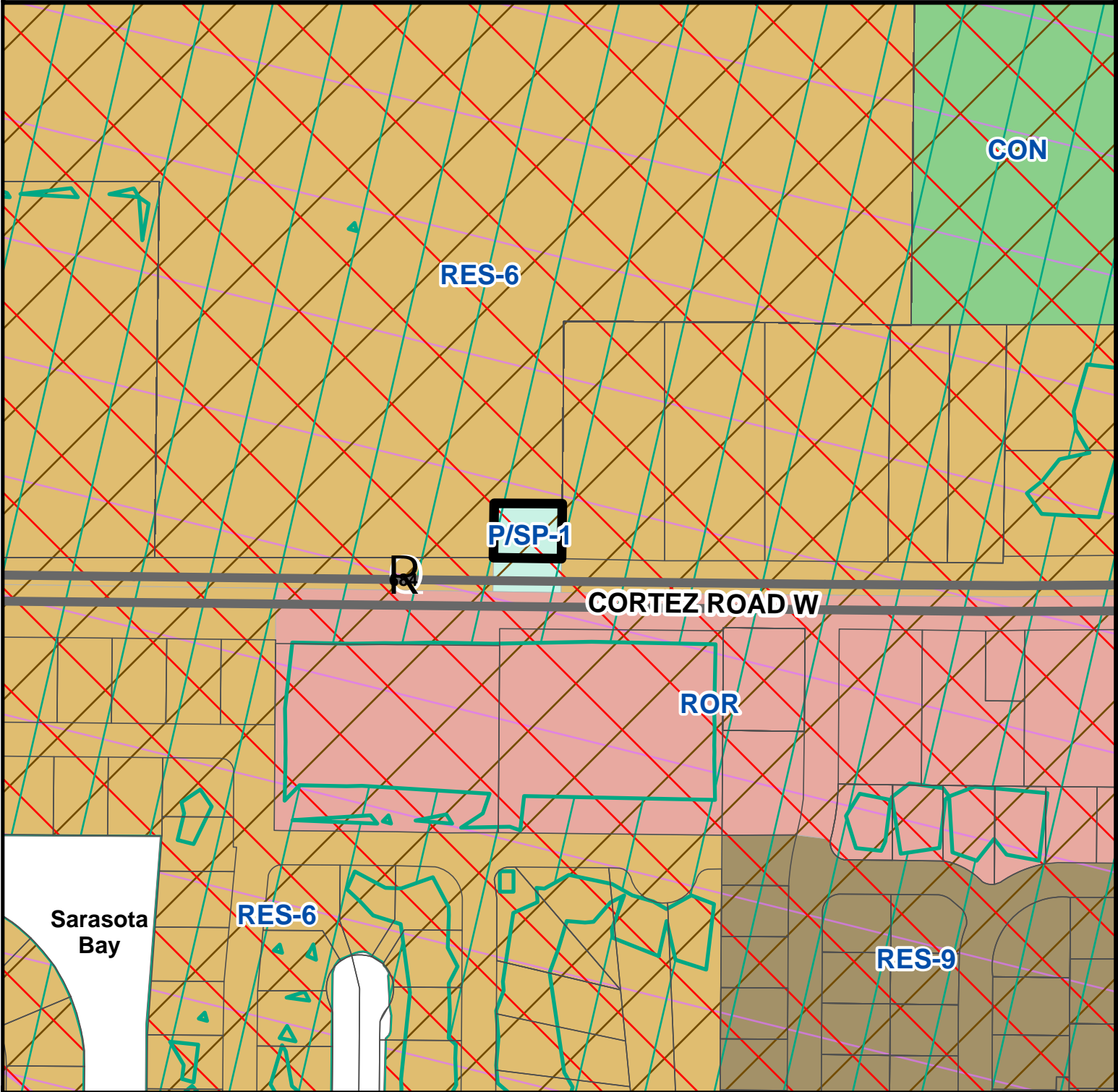
Drainage Basin: DIRECT RUNOFF TO BAY

Commissioner: Tal Siddique

Manatee County
Staff Report Map
Map Prepared 1 / 2026

0 30 60
Feet

FUTURE LAND USE



Parcel ID #(s) 7500610006


Project Name: Manatee County Lift Station Building Variance

Project #: VA-25-09

Accela #: PLN2510-0235

 CHHA

 Coastal Planning Area

 Coastal Evacuation Area

S/T/R: 01 35S 16E

Acreage: 0.18

Existing Zoning: NC-M

Existing FLU: P/SP-1

Overlays: CEA, CHH, CPA, SUR

Special Areas: SWTIF

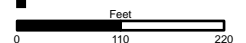
CHH: Yes

Watershed: NONE

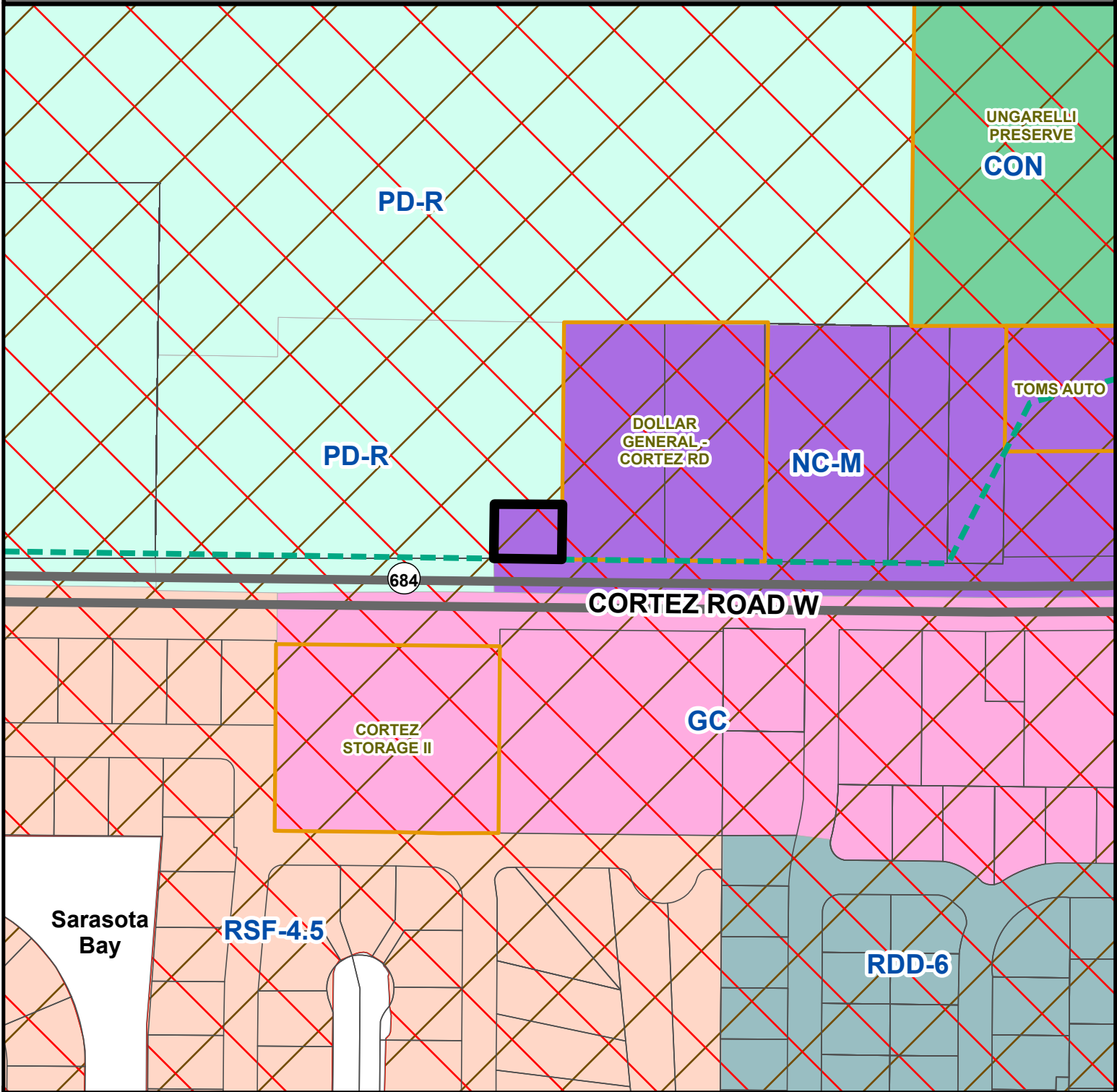
Drainage Basin: DIRECT RUNOFF TO BAY

Commissioner: Tal Siddique

Manatee County
Staff Report Map
Map Prepared 1 / 2026



ZONING



Parcel ID #(s) 7500610006

Project Name: Manatee County Lift Station Building Variance

Project #: VA-25-09

Accela #: PLN2510-0235

S/T/R: 01 35S 16E

Acreage: 0.18

Existing Zoning: NC-M

Existing FLU: P/SP-1

Overlays: CEA, CHH, CPA, SUR

Special Areas: SWTIF

CHH: Yes

Watershed: NONE

Drainage Basin: DIRECT RUNOFF TO BAY

Commissioner: Tal Siddique

 Coastal High Hazard - Zoning

 Coastal Planning Area

 Coastal Evacuation Area

To Whom It May Concern,

Master Lift Station 1-M RTU 203, located at 8720 44th Avenue West, Bradenton, Florida, recently underwent construction to rehabilitate the station and provide flood mitigation for critical electrical components. During the design phase, neither Manatee County Utilities nor the design engineer were aware of any required setbacks from the property line. The Building Department reviewed and approved the design drawings prior to construction.

Upon the contractor's request for a final inspection, the Building Department identified the setback issue. Manatee County Utilities' intent in this project was to ensure the protection and continued operation of essential wastewater infrastructure during hurricanes and other severe weather events. This work is vital to safeguarding both the environment and the residents of Manatee County.

The mitigation efforts included construction of an elevated electrical building on the north side of the property. Due to the limited space available and the need to maintain continuous operation of the existing lift station during construction, placement options for the new structure were significantly constrained. These limitations resulted in the building being installed within the required setback area.

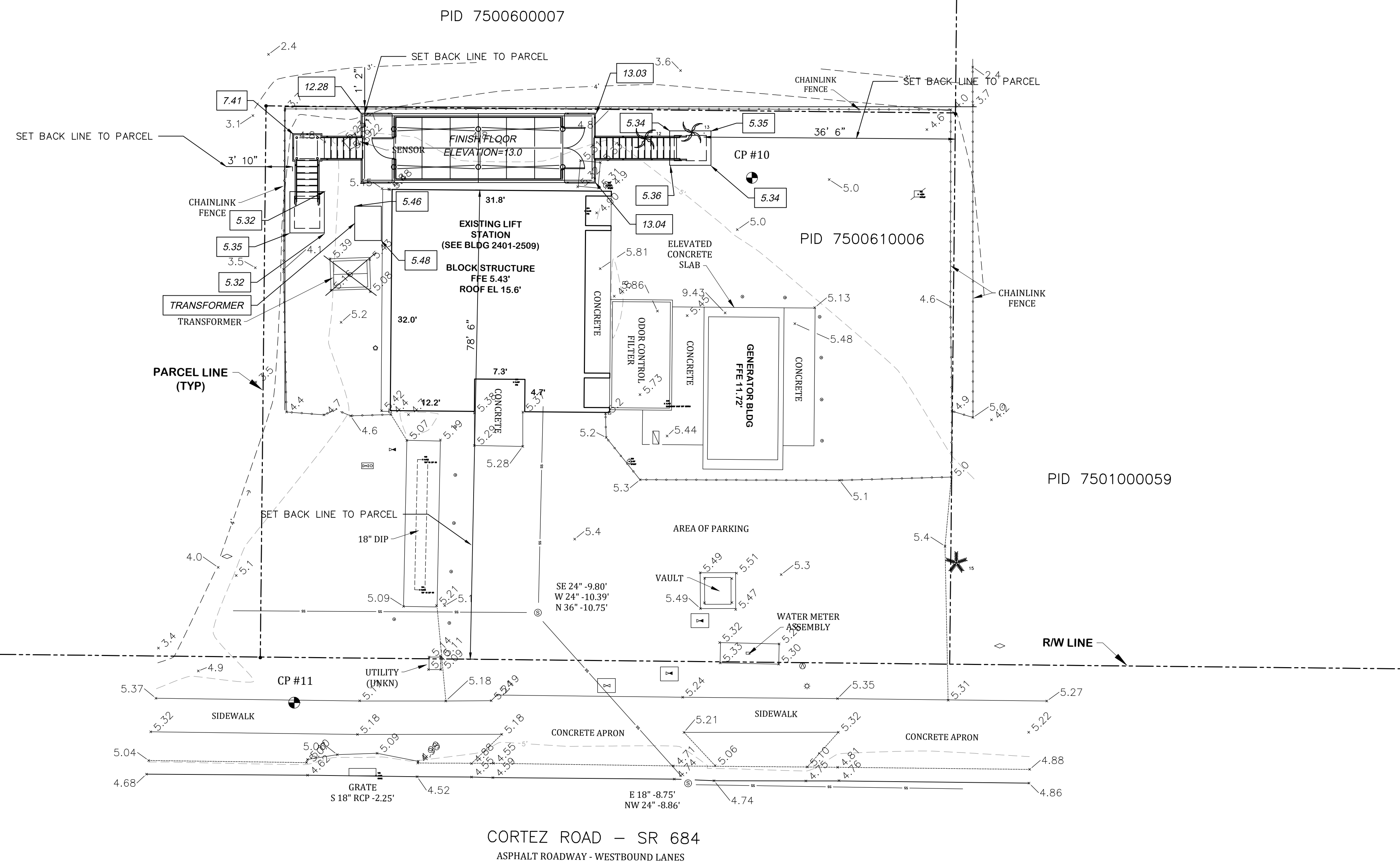
Any redesign or relocation of this facility would impose a substantial financial burden on Manatee County Utilities, potentially costing several million dollars. Additionally, the existing underground infrastructure is engineered to convey wastewater to this specific location, and no alternative sites are suitable for this master lift station. The current configuration of the completed facility represents the most practical and effective solution for Manatee County and the surrounding community.

Sincerely,
Erik Gibson
Utilities Superintendent

Erik Gibson



5 0 5 10
SCALE: 1" = 10'



DESIGNATION	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP #10	1137677.56	444951.05	5.02'	IR (LB 7203)
CP #11	1137601.39	444884.66	5.26'	ND (LB 7203)

LEGEND

PID	PARCEL IDENTIFICATION		CONTROL POINT
CP	CONTROL POINT		CONTROL POINT
R/W	RIGHT OF WAY		UTILITY POLE
ND	NAIL W/ DISC		GUY WIRE
IR	IRON ROD		SEWER VALVE
SR	STATE ROAD		WATER VALVE
EL	ELEVATION		SANITARY MANHOLE
FFE	FINISHED FLOOR ELEVATION		LIGHT POLE
UNKN	UNKNOWN		BOLLARD
	PINE		AIR RELEASE VALVE
	PALM		UTILITY RISER
			BLOW OFF
			UTILITY BOX
			OUTLET
			SPIGOT
			ANTENNA

SITE PLAN
SCALE: 1"=10'-0"

GENERAL NOTES

1. THE FOLLOWING MANATEE COUNTY VERTICAL CONTROL MONUMENT WAS RECOVERED AND UTILIZED FOR THE ELEVATIONS INDICATED HEREON: "BREVARD" NAVD 1988 ELEVATION 20.00'
2. THIS SURVEY IS REFERENCED TO A GRID PROJECTION OF THE FLORIDA STATE PLANE COORDINATE SYSTEM (WEST ZONE NAD 1983/2011 ADJUSTMENT).
3. THIS IS NOT A BOUNDARY SURVEY. PARCEL AND R/W LINES INDICATED HEREON ARE APPROXIMATE.
4. THIS SURVEY IS SUBJECT TO PERTINENT EASEMENTS, RIGHTS-OF-WAY AND RESTRICTIONS OF RECORD, IF ANY.
5. THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTY OR PARTIES CERTIFIED TO BELOW FOR THE EXPRESS PURPOSE STATED HEREON AND/OR CONTAINED IN THE CONTRACT BETWEEN HYATT SURVEY SERVICES, INC. AND THE CLIENT FOR THIS PROJECT. COPYING, DISTRIBUTING AND/OR USING THIS DRAWING, IN WHOLE OR IN PART FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED WITHOUT WRITTEN CONSENT FROM HYATT SURVEY SERVICES, INC. IS STRICTLY PROHIBITED AND RENDERS THE SURVEYOR'S CERTIFICATION, SIGNATURE AND SEAL NULL AND VOID. ANY QUESTIONS CONCERNING THE CONTENT OR PURPOSE OF THIS DRAWING SHOULD BE DIRECTED TO HYATT SURVEY SERVICES, INC.

RECORD DRAWING

I HEREBY CERTIFY: THAT THESE RECORD DRAWINGS REPRESENTS TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SITE IMPROVEMENTS AS SHOWN HEREON WAS OBTAINED FROM FIELD SURVEYS PERFORMED UNDER MY DIRECTION, TOGETHER WITH INFORMATION PROVIDED TO ME BY THE SITE CONTRACTOR.

GEORGE F. YOUNG, INC.
(LICENSED BUSINESS #021)
10540 PORTAL CROSSING
SUITE 105
BRADENTON, FLORIDA 34211
941-747-2981

MATTHEW T. SMITH PSM #7521

DATE: _____

12/11/25, PVR, AS-BUILT, FIELD 12/05/25

RECORD SURVEY

LIFT STATION 1M ELECTRICAL REHABILITATION

#####

PROJ. START DATE: 2020 JUN	SCALE
MCE PROJ. # 01024-0180	HORIZONTAL: #####
DRAWN: ###	VERTICAL: ###
DESIGNED: ###	DRAWING NUMBER: 0
CHECKED: ###	REVISION
PROJ. MGR: ###	

STATUS: ISSUED FOR PERMITTING

REV. NO.	DESCRIPTION	DATE
6	ISSUED FOR BID	DEC 2021
	REVISIONS	

SEAL
AUBREY A. HAUDRICOURT, P.E.
No. 66861

1365 Hamlet Avenue
Clearwater, Florida 33756
Phone: (727) 442-7196, Fax: (727) 461-3827
CA Lic. No. 29588
www.mckimcreed.com





Figure 1: New Structure



Figure 2: Rear Setback Encroachment



Figure 3: Side Setback Encroachment



FLORIDA DEPARTMENT OF
Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

**SELF-CERTIFICATION FOR
A STORMWATER MANAGEMENT SYSTEM IN UPLANDS SERVING
LESS THAN 10 ACRES OF TOTAL PROJECT AREA AND
LESS THAN 2 ACRES OF IMPERVIOUS SURFACES**

Owner(s)/Permittee(s): McKim & Creed Inc, MANATEE COUNTY
File No: 0397141001EG
File Name: LS 1M ELECTRICAL IMPROVEMENTS
Site Address: 8720 Cortez Rd W
Bradenton FL - 34210 2203
County: Manatee
Latitude: 27° 27' 42.9407"
Longitude: -82° 39' 4.9612"
Total Project Area: .0060
Total Impervious Surface Area: .0039
**Approximate Date of Commencement
of Construction:** 05/01/2021

Registered Florida Professional: McKim Inc
License No.: 66861
Company: McKim & Creed Inc

Date: January 13, 2021

McKim Inc certified through the Department's Enterprise Self-Service Application portal that the project described above was designed by the above-named Florida registered professional to meet the following requirements:

- (a)The total project area involves less than 10 acres and less than 2 acres of impervious surface;
- (b)Activities will not impact wetlands or other surface waters;
- (c)Activities are not conducted in, on, or over wetlands or other surface waters;
- (d)Drainage facilities will not include pipes having diameters greater than 24 inches, or the hydraulic equivalent, and will not use pumps in any manner;
- (e)The project is not part of a larger common plan, development, or sale; and
- (f)The project does not:
 - 1.Cause adverse water quantity or flooding impacts to receiving water and adjacent lands;

- 2.Cause adverse impacts to existing surface water storage and conveyance capabilities;
- 3.Cause a violation of state water quality standards; or
- 4.Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to s. 373.042 or a work of the district established pursuant to s. 373.086, F.S.

This certification was submitted before initiation of construction of the above project. The system is designed, and will be operated and maintained in accordance with applicable rules adopted pursuant to part IV of chapter 373, F.S. There is a rebuttable presumption that the discharge from such system will comply with state water quality standards. Therefore, construction, alteration, and maintenance of the stormwater management system serving this project is authorized in accordance with s.403.814(12), F.S.

In accordance with s. 373.416(2), F.S., if ownership of the property or the stormwater management system is sold or transferred to another party, continued operation of the system is authorized only if notice is provided to the Department within 30 days of the sale or transfer. This notice can be submitted to:

FDEP Southwest District
 13051 N Telecom Pkwy
 Temple Terrace, FL33637

This certification was submitted along with the following electronic documents:

File Description
Project Drawings

If you have submitted this certification as a Florida Registered Professional, you may wish to sign and seal this certification, and return a copy to the Department, in accordance with your professional practice act requirements under Florida Statutes.

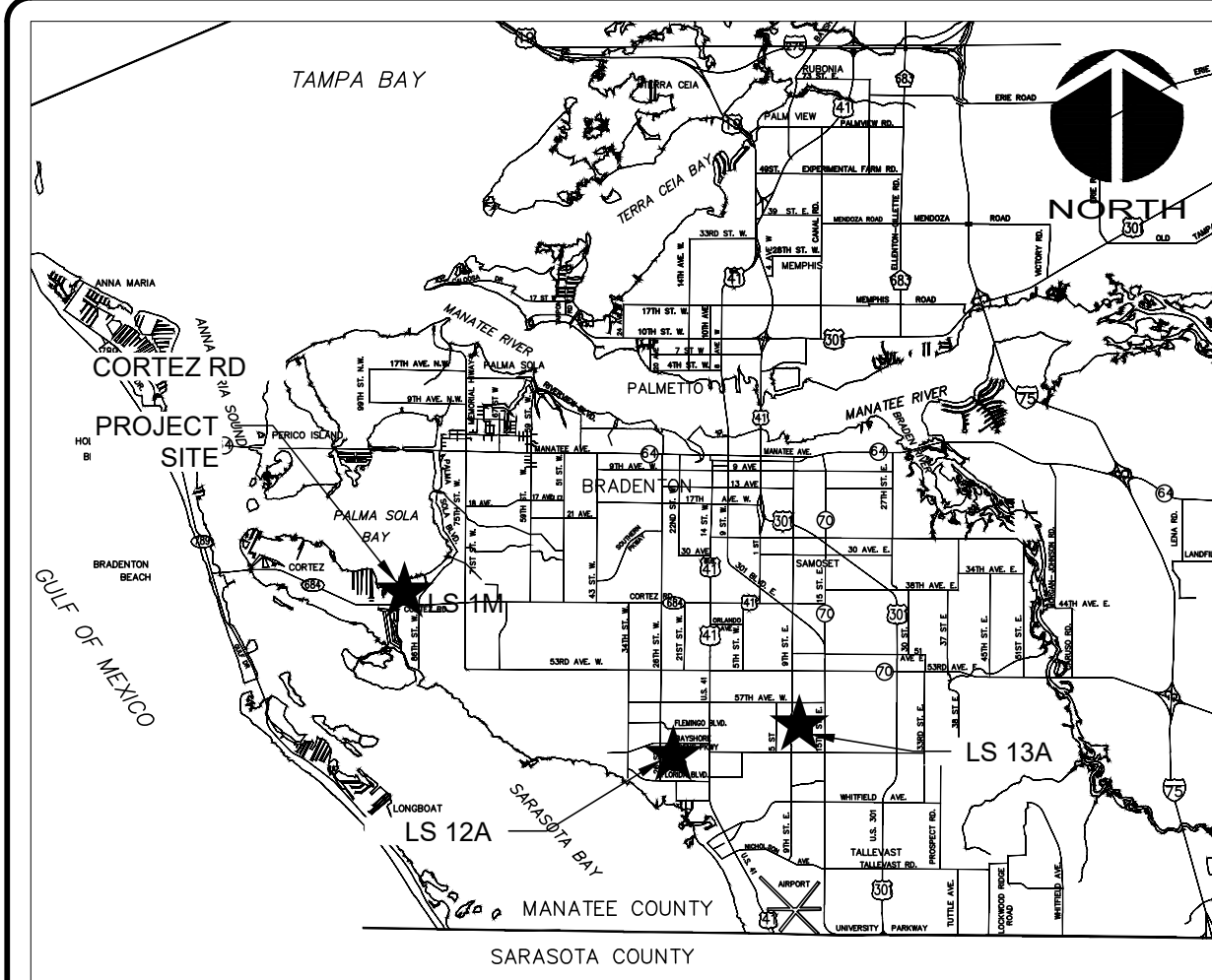
I, McKim Inc, License No. 66861, do hereby certify that the above information is true and accurate, based upon my knowledge, information and belief. In the space below, affix signature, date, seal, company name, address and certificate of authorization (if applicable).

This sealed certification may be submitted to the Department, either electronically (as an attachment in Adobe PDF or other secure, digital format) at SW_ERP@dep.state.fl.us, or as a hardcopy, at the postal address below:

FDEP Southwest District
 13051 N Telecom Pkwy
 Temple Terrace, FL33637

LIFT STATION 1M ELECTRICAL REHABILITATION MANATEE COUNTY

PROJ. NO. 01024-0180
NOVEMBER, 2020
PERMIT SET NOT FOR CONSTRUCTION



VICINITY MAP

NOT TO SCALE

PROJECT NAME: LIFT STATION 1M ELECTRICAL REHABILITATION

OWNER/DEVELOPER:
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PROJECT INFORMATION



SITE MAP

SCALE: 1" = 200'

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1 ABBREVIATIONS	
1SFD	1 STORY FRAMED DWELLING
1SBKBUS	1 STORY BRICK BUSINESS
A	AIR
AC	ASBESTOS CEMENT
AL OR ALUM	ALUMINUM
ARV	AIR RELEASE VALVE
ASPH	ASPHALT
BC	BACK OF CURB
BFV	BUTTERFLY VALVE
BK	BRICK
BLD	BLIND
BO	BOLLARD
BOV	BLOW OFF VALVE
BV	BALL VALVE
CATV	CABLE TELEVISION
CB	CATCH BASIN
C&G	CURB AND GUTTER
CHN	CHAIN
CI	CURB INLET
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
CON	CONCENTRIC
CONC	CONCRETE
CPLG	COUPLING
CPP	CORRUGATED PLASTIC PIPE
CS	COMPOST SOCK
CSF	COMBO SILT / TREE PROTECTION FENCE
CV	CHECK VALVE
CWTD	CLEAN WATER TEMPORARY DIVERSION
D	DRAIN
DI	DROP INLET / DUCTILE IRON
DIP	DUCTILE IRON PIPE
DUCT	DUCT BANK
D/W	DRIVE WAY
DWG	DRAWING
EL OR ELEV	ELEVATION
EOG	EDGE OF GRAVEL
EOI	END OF INFORMATION
EP, EOP	EDGE OF PAVEMENT
EW	EYEWASH
EX	EXISTING
EXP	EXPANSION
LP	LIGHT POLE
LT	LIGHT
FCA	FLANGE COUPLING ADAPTER
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTOR
FFE	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
FHA	FIRE HYDRANT ASSEMBLY
FIN	FINISHED
FLG	FLANGE
FLEX	FLEXIBLE
FLR	FLOOR
FM	FORCE MAIN
FRP	FIBERGLASS REINFORCED PIPE
FO	FIBER OPTIC
FOT	FLAT ON TOP
GL	GUTTER LINE
GM	GAS METER
GRAV	GRAVEL
GTS	GAS TEST STATION
GV	GAS VALVE
GV	GATE VALVE
GW	GUY WIRE
HB	HOSE BIB
HB	HOT BOX
HDPE	HIGH-DENSITY POLYETHYLENE
HP	HIGH POINT
HWL	HIGH WATER LEVEL
INV	INVERT ELEVATION
IPF	IRON POST FOUND
JB	JUNCTION BOX
JT	JOINT
LF	LINEAR FEET
LOD	LIMITS OF DISTURBANCE
LP	LOW POINT
LR	LONG RADIUS
LSA	LANDSCAPE AREA
LWL	LOW WATER LEVEL
MB	MAIL BOX
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MJ	MECHANICAL JOINT
MOV	MOTOR OPERATED VALVE
MTL	METAL
N.C.	NORMALLY CLOSED
N.O.	NORMALLY OPEN
NIC	NOT IN CONTRACT
NWL	NORMAL WATER LEVEL
OH/E/OE	OVER HEAD ELECTRIC
O/F	OVERFLOW
OU	OVER HEAD UTILITIES
PE	PLAIN END
PV	POST INDICATOR VALVE
POLY	POLYMER
PP	POWER POLE
PRV	PRESSURE REDUCING VALVE
PTFE	POLYTRIFLUOROETHYLENE
PV	PLUG VALVE
PVC	POLY VINYL CHLORIDE
PW	POTABLE WATER
RCP	REINFORCED CONCRETE PIPE
REC	PER RECORD
RED	REDUCER

1 ABBREVIATIONS CONTINUED	
RFCA	RESTRAINED FLANGE COUPLING ADAPTER
RJ	RESTRAINED JOINT
RK	ROCK
R/W, ROW	RIGHT OF WAY
S	SIGN
SDMH	STORM DRAIN MANHOLE
SF	SILT FENCE
SS	SANITARY SEWER
S.S.	STAINLESS STEEL
SSF	SUPER / HIGH HAZARD SILT FENCE
SSMH	SANITARY SEWER MANHOLE
STA	STATION
SUE	SUBSURFACE UTILITY ENGINEERING
S/W	SIDE WALK
SVC	SERVICE
TBM	TEMPORARY BENCH MARK
TC	TERRA COTTA
TLP	TRAFFIC LIGHT POLE
TOB	TOP OF BANK
TOC	TOP OF CONCRETE
TOG	TOP OF GRATING
TOS	TOP OF SLAB
TOW	TOP OF WALL
TH	TEST HOLE
TPF	TREE PROTECTION FENCE
TSBOX	TRAFFIC SIGNAL BOX
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UNK	UNKNOWN
VAR	VARIABLE
VCP	VITRIFIED CLAY PIPE
WD	WOOD
WL	WATER LINE
WM	WATER METER
WV	WATER VALVE
XP	CROSS LIGHT POLE
WWF	WELDED WIRE FABRIC
YI	YARD INLET

2 EXISTING SYMBOL LEGEND	
DESCRIPTION	SYMBOL
11.25° HORIZONTAL BEND	└┘
22.50° HORIZONTAL BEND	└┘└┘
45° HORIZONTAL BEND	└┘└┘└┘
90° HORIZONTAL BEND	└┘└┘└┘└┘
AC UNIT	⊠
BENCH MARK	⊕
TEMP. BENCH MARK	⊕
BLOW OFF VALVE	⊕
BOLLARD	o b o
TEST BORE HOLE LOCATION	⊕-B-#
CABLE TV PEDISTAL	⊕
CATCH BASIN	⊕
CLEAN OUT	CO O
CONCRETE MONUMENT FOUND	⊕CMF
CONTROL POINT	△
CROSS	⊕
GRAVEL	⊕
CURB INLET	⊕
ELECTRIC BOX	⊕
ELECTRIC MANHOLE	⊕
END OF INFORMATION	⊕
FLAG POLE	oFP
GAS METER	GM
GUY POLE	⊕
GUY WIRE	△
HANDHOLE	⊕
JUNCTION BOX	⊕
HYDRANT	⊕
IRON POST FOUND	oIPF
IRON ROD FOUND	oIPF
LIGHT POLE	oLP
MAIL BOX	MB
MONITOR WELL	⊕
POWER POLE	OPP
WATER MANHOLE	⊕
PK FOUND	OPKF
RAIL ROAD SPIKE	oRRSPIKE
SANITARY SEWER MANHOLE	⊕
SHRUB	⊕
SIGN	⊕
STORM DRAIN MANHOLE	⊕
TAPPING SLEEVE AND VALVE	⊕
TEE	⊕
TELEPHONE MANHOLE	⊕
TELEPHONE PEDESTAL	⊕
TRAFFIC SIGNAL BOX	⊕
TRANSFORMER	⊕
DECIDUOUS TREE	⊕
PINE TREE	⊕
UTILITY POLE	⊕
VALVE	⊕
WATER METER	⊕
WATER WELL	⊕
YARD HYDRANT	⊕

3 EXISTING LINE LEGEND	
DESCRIPTION	LINETYPE
UNDERGROUND CABLE TV	TV
UNDERGROUND PER RECORD CABLE TV	TV(R)
UNDERGROUND ELECTRIC	E
PER RECORD UNDERGROUND ELECTRIC	E(R)
UNDERGROUND FIBER OPTIC	FO
PER RECORD UNDERGROUND FIBER OPTIC	FO(R)
SANITARY SEWER FORCEMAIN	FM
PER RECORD SANITARY SEWER FORCE MAIN	FM(R)
UNDERGROUND GAS	G
UNDERGROUND PER RECORD GAS	G(R)
OVER HEAD UTILITIES	OU
RECLAIMED WATER LINE	R
PER RECORD RECLAIMED WATER LINE	R(R)
GRAVITY SANITARY SEWER	SS
PER RECORD GRAVITY SANITARY SEWER	SS(R)
STORM DRAINAGE	S
UNDERGROUND TELEPHONE	T
UNDERGROUND PER RECORD TELEPHONE	T(R)
UNDERGROUND UNKNOWN	U
WATER LINE	W
PER RECORD WATER LINE	W(R)
FENCE	F
GUARD RAIL	G
BACK OF CURB	B
EASEMENT	E
EDGE OF GRAVEL	G
EDGE OF PAVEMENT	P
PROPERTY LINE	P
RIGHT OF WAY	R
ROAD CENTER LINE	R
100 YEAR FLOODPLAIN	100FP
MAJOR CONTOUR	M
MINOR CONTOUR	m
RIPARIAN BUFFER ZONE 1	Z1
RIPARIAN BUFFER ZONE 2	Z2
TOP OF BANK	T
TREELINE	T
WATERCOURSE C	W
WETLAND BOUNDARY	W

4 PROPOSED SYMBOL LEGEND	
DESCRIPTION	SYMBOL
11.25° HORIZONTAL BEND	└┘
22.50° HORIZONTAL BEND	└┘└┘
45° HORIZONTAL BEND	└┘└┘└┘
90° HORIZONTAL BEND	└┘└┘└┘└┘
VERTICAL BEND	└┘
AIR RELEASE VALVE	⊕
VALVE	⊕
BLOWOFF VALVE	⊕
HYDRANT	⊕
YARD HYDRANT	⊕
CROSS	⊕
TEE	⊕
TAPPING SLEEVE AND VALVE	⊕
REDUCER	⊕
CAP/PLUG	⊕
POTABLE WATER SERVICE METER	⊕
RECLAIMED WATER SERVICE METER	⊕
EXISTING UTILITY SERVICE RECONNECTION	⊕
CENTRIC SANITARY SEWER MANHOLE	⊕
ECCENTRIC SANITARY SEWER MANHOLE	⊕
FLAT TOP SANITARY SEWER MANHOLE	⊕
CLEAN OUT	⊕
ARC FILTER	⊕
CHECK DAM	⊕
INLET PROTECTION	⊕
PIPE INLET PROTECTION	⊕
SILT FENCE OUTLET	⊕
WATTLE	⊕

5 PROPOSED LINE LEGEND	
DESCRIPTION	LINETYPE
PERMANENT EASEMENT	---
TEMPORARY EASEMENT	---
SANITARY SEWER FORCE MAIN	FM
RECLAIMED WATER LINE	R
GRAVITY SANITARY SEWER	SS
WATER LINE	W
TO BE ABANDONED	---
DIVERSION DITCH	---
LIMITS OF DISTURBANCE/CLEARING LIMITS	---
COMBINATION SILT FENCE/TREE PROTECTION	---
TEMPORARY SILT FENCE	---
TEMPORARY SUPER SILT FENCE	---
TEMPORARY TREE PROTECTION FENCE	---
COMPOST SOCK	---
PERMANENT FENCE	---
GUARD RAIL	---

6 PROFILE LINE LEGEND	
DESCRIPTION	LINETYPE
EXISTING GRADE PAVEMENT PROFILE	---
EXISTING GRADE GROUND PROFILE	---
PROPOSED GRADE PROFILE	---
THEORETICAL 1:1 SLOPE	---
WETLAND CROSSING	---

7 AREA LEGEND	
WETLANDS	
RIP-RAP	
TEMP. SLOPE STABILIZATION	
STRAW WITH NET LINER	

8 PROCESS ABBREVIATIONS	
A	PROCESS AIR
ALUM	WTP ALUM SLUDGE
AS	ACTIVATED SLUDGE
BW	BACKWASH
BWD	BACKWASH DRAIN
BWS	BACK WASH SUPPLY
BWW	BACK WASH WASTE
D	DRAIN
EXP	EXPANSION
FA	FOUL AIR
FE	FINAL EFFLUENT
FI	FILTER INFLUENT
FFM	FILTRATE FORCE MAIN
FTD	FILTER DRAIN
FTE	FILTER EFFLUENT
GR	GRIT
GV	GATE VALVE
HWR	HOT WATER RETURN
HWS	HOT WATER SUPPLY
IFM	INFLUENT FORCE MAIN
ML	MIXED LIQUOR
NAOCL	SODIUM HYPOCHLORITE
NAOH	SODIUM HYDROXIDE (CAUSTIC SODA)
NG	NATURAL GAS
NPW	NON-POTABLE WATER
NRCY	NITRIFIED RECYCLE
PD	PROCESS DRAIN
PE	PRIMARY EFFLUENT
PS	PRIMARY SLUDGE
PTE	PRELIMINARY TREATMENT EFFLUENT
PTFE	POLYTETRAFLUOROETHYLENE
PW	POTABLE WATER
RAS	RETURN ACTIVATED SLUDGE
RW	RAW WASTEWATER
SBR	SEQUENCING BATCH REACTOR
SD	STORM DRAIN
SPD	SUMP PUMP DISCHARGE
SR	SCRUBBER RECIRCULATION
SRD	SCRUBBER RECIRCULATION DISCHARGE
SRP	SCRUBBER RECIRCULATION PUMP
SRS	SCRUBBER RECIRCULATION SUCTION
SUP	DIGESTER SUPERNATANT
SW	SEAL WATER
UV	ULTRAVIOLET
WAS	WASTE ACTIVATED SLUDGE

9 MECHANICAL SYMBOLS	
VALVE SYMBOL	DESCRIPTION
	BUTTERFLY VALVE
	CHECK VALVE
	GATE VALVE
	PLUG VALVE
	BALL VALVE
	GLOBE VALVE

10 GENERAL NOTES	
GENERAL NOTES:	
1.	THE CONTRACTOR SHALL REVIEW AND VERIFY ALL LAYOUTS, DIMENSIONS AND ELEVATIONS ON THE PLANS WITH FINAL APPROVED EQUIPMENT DRAWINGS AS WELL AS ALL TECHNICAL SPECIFICATIONS PRIOR TO STARTING CONSTRUCTION AND SHOULD DISCREPANCIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO OBTAIN THE ENGINEERS CLARIFICATION BEFORE COMMENCING WITH CONSTRUCTION.
2.	THE CONTRACTOR SHALL COORDINATE ALL RELATED DISCIPLINE DRAWINGS TO ENSURE ACCURATE INSTALLATION OCCURS, INCLUDING P&ID'S.
3.	CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING CONSTRUCTION.
4.	ALL PIPE LINES SHALL HAVE A MINIMUM COVER OF 36" UNLESS OTHERWISE NOTED OR DIRECTED.
5.	NOTE: ALL VAULTS, MANHOLES, INLET STRUCTURES, BASINS, WET WELLS ETC. SHALL BE CONSIDERED "CONFINED SPACE ENTRY" AND SHALL BE MARKED AS SUCH BY MEANS OF STAMPING MANHOLE COVERS AND PLACING PERMANENT SIGNAGE ON THE VAULTS, BASINS OR STRUCTURES WARNING OF THE "CONFINED SPACE ENTRY" CONDITION.
6.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PIPE SUPPORTS WHETHER SHOWN ON THE CONTRACT DOCUMENTS OR NOT. PIPE SUPPORTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS FOR SPACING AND SUPPORT. ADDITIONALLY, PROVIDE SUPPORT WHERE ABOVE GRADE PIPING CHANGES DIRECTION, IS ADJACENT TO FLANGED VALVES OR OTHER APPURTENANCES OR AT EQUIPMENT CONNECTIONS AND HEAVY FITTINGS.
7.	NOTE: ALL NON-POTABLE/PLANT WATER USERS MUST BE CLEARLY LABELED AS "NON-POTABLE", NOT FOR HUMAN CONSUMPTION
8.	PLANT TRAFFIC FLOW SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. IF TRAFFIC FLOW IS TO BE RE-DIRECTED, CONTRACTOR SHALL COORDINATE TEMPORARY TRAFFIC FLOW PATTERNS WITH OWNER AND ENGINEER.
9.	CONTRACTOR SHALL RESTRAIN ALL UNDERGROUND PRESSURE PIPING AT ALL FITTINGS AND PIPE JOINTS.
EXISTING UTILITIES:	
1.	UNDERGROUND UTILITIES SHOWN ON THE PLANS HAVE BEEN MADE AVAILABLE FROM VARIOUS ENTITIES THAT MAY INCLUDE UTILITY OWNERS, SURVEY SUBSURFACE UTILITY INVESTIGATIONS (SUE), RECORD DRAWINGS AND OTHERS. THIS INFORMATION MAY NOT ALL-INCLUSIVE AND THE CONTRACTOR IS ADVISED THAT ADDITIONAL UNDERGROUND UTILITIES AND CABLES INVESTIGATION MAY BE NECESSARY PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ALL POTENTIAL CONFLICTS.
2.	THE CONTRACTOR SHALL FIELD VERIFY SIZE, DEPTH, LOCATION AND MATERIAL OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
3.	THE CONTRACTOR SHALL CAREFULLY SUPPORT AND PROTECT ANY UTILITIES, STRUCTURES, POWER POLES, PIPE LINES AND CONDUITS WHICH MAY BE ENCOUNTERED DURING COMPLETION OF THE WORK AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL APPLY NECESSARY MEANS TO PROTECT EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR OR UTILITY OWNER (WHERE REQUIRED) TO THE SATISFACTION OF THE ENGINEER AND UTILITY OWNER AT THE CONTRACTOR'S EXPENSE.

11 PIPING SCHEDULE			
ABBREVIATION	DESIGNATION	PIPE MATERIAL	NOTES
INF	INFLUENT	RESTRAINED DUCTILE IRON	RESTRAIN ENTIRE NETWORK
EFF	EFFLUENT	RESTRAINED DUCTILE IRON	RESTRAIN ENTIRE NETWORK, PROVIDE PIPE WITH PROTECTIVE LINING - ENTIRE NETWORK
D or SS	DRAIN OR SANITARY SEWER	DUCTILE IRON / SCH. 80 PVC	>=4" DIP / <=3" SCH. 80 PVC SOLVENT WELD, RESTRAIN ALL FITTINGS
FM	FORCE MAIN	RESTRAINED DUCTILE IRON	RESTRAIN ENTIRE NETWORK
NPW	NON-POTABLE WATER	RESTRAINED DUCTILE IRON / SCH. 80 PVC	>=4" DIP / <=3" SCH. 80 PVC SOLVENT WELD, RESTRAIN ENTIRE NETWORK
A	PROCESS AIR	SCH. 10 304 STAINLESS STEEL	
SL	SLUDGE	RESTRAINED DUCTILE IRON	RESTRAIN ENTIRE NETWORK
SC	SCUM	RESTRAINED DUCTILE IRON	RESTRAIN ENTIRE NETWORK
PW	POTABLE WATER	RESTRAINED DUCTILE IRON / SCH. 80 PVC	>=4" DIP / <=3" SCH. 80 PVC SOLVENT WELD, RESTRAIN ENTIRE NETWORK
FA	FOUL AIR	SCH. 80 PVC / FRP	FRP ABOVE GRADE SCH. 80 PVC BELOW GRADE
ATAD	ATAD SUPPLY & DISCHARGE	RESTRAINED DUCTILE IRON	RESTRAIN ENTIRE NETWORK
PE	PLANT EFFLUENT	RESTRAINED DUCTILE IRON	RESTRAIN ENTIRE NETWORK, PROVIDE PIPE CONNECTING NEW EQ TANK w/ EXISTING EQ BASIN AND (NEW AND EXISTING) BIODENOPHO DITCHES WITH PROTECTIVE LINING
RAS/WAS	WASTE/RETURN ACTIVATED SLUDGE	RESTRAINED DUCTILE IRON	RESTRAIN ENTIRE NETWORK

12 CROSS-REF SYMBOLOGY	
	= SECTION CUT SYMBOL
	= STRUCTURE / BUILDING ELEVATION
	= DETAIL

REV. NO.	DESCRIPTION	DATE

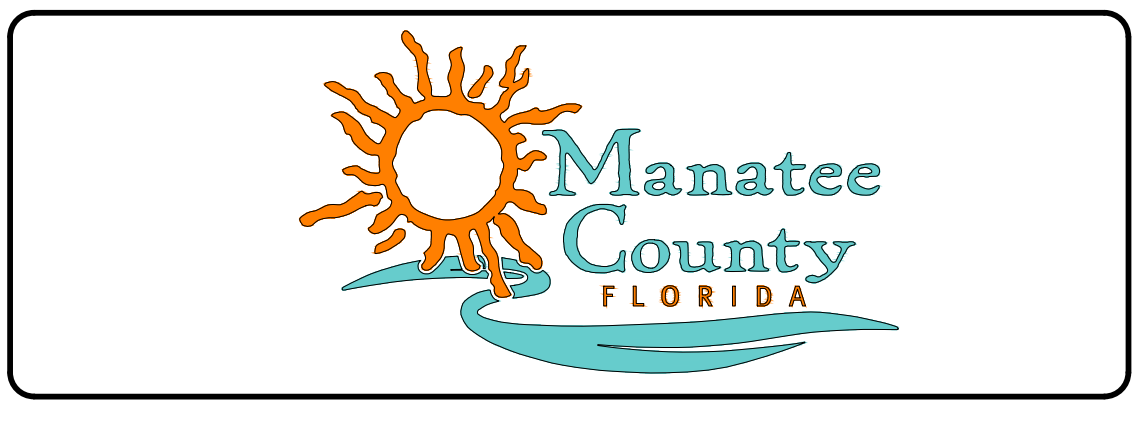
SEAL

AUBREY A. HAUDRICOURT, P.E.
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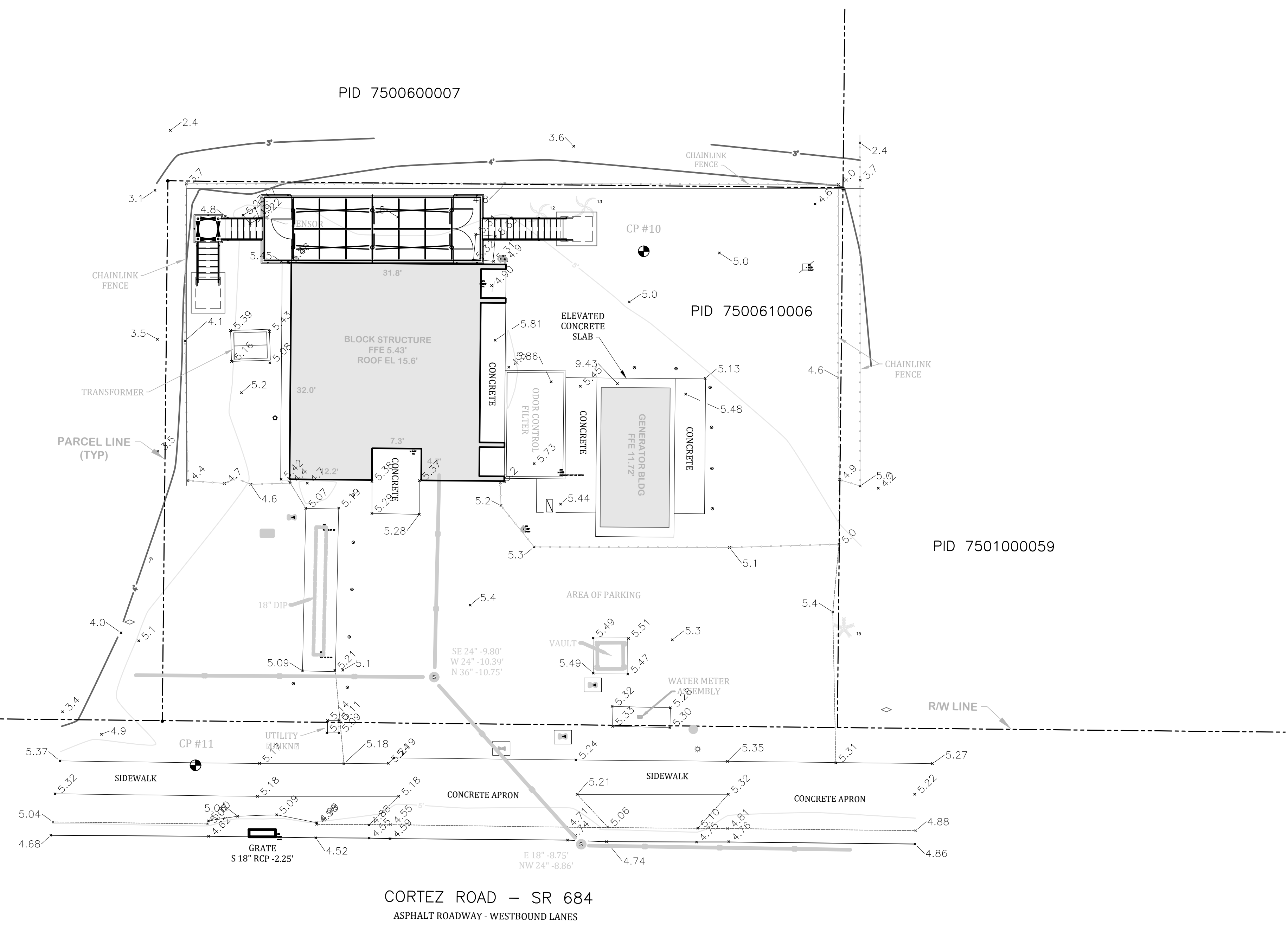
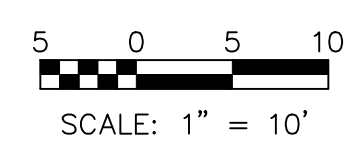
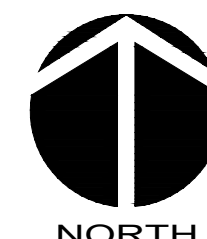


LIFT STATION 1M ELECTRICAL REHABILITATION

GENERAL

CIVIL-MECHANICAL LEAD SHEET

PROJ. START DATE: 2020 JUN	SCALE
MCE PROJ. # 01024-0180	HORIZONTAL: G0.02
DRAWN JG	VERTICAL: N/A
DESIGNED AAH	REVISION
CHECKED MAC	
PROJ. MGR. AAH	
STATUS: PERMIT SET	NOT FOR CONSTRUCTION



DESIGNATION	SITE CONTROL			DESCRIPTION
	NORTHING	EASTING	ELEVATION	
CP #10	1137677.56	444951.05	5.02'	IR (LB 7203)
CP #11	1137601.39	444884.66	5.26'	ND (LB 7203)

LEGEND

PID	PARCEL IDENTIFICATION		CONTROL POINT
CP	CONTROL POINT		
R/W	RIGHT OF WAY		UTILITY POLE
ND	NAIL W/ DISC		GUY WIRE
IR	IRON ROD		SEWER VALVE
SR	STATE ROAD		WATER VALVE
EL	ELEVATION		SANITARY MANHOLE
FFE	FINISHED FLOOR ELEVATION		LIGHT POLE
UNKN	UNKNOWN		BOLLARD
	PINE		AIR RELEASE VALVE
	PALM		UTILITY RISER
			BLOW OFF
			UTILITY BOX
			OUTLET
			SPIGOT
			ANTENNA

SITE PLAN
SCALE: 1"=10'-0"

GENERAL NOTES

1. THE FOLLOWING MANATEE COUNTY VERTICAL CONTROL MONUMENT WAS RECOVERED AND UTILIZED FOR THE ELEVATIONS INDICATED HEREON:
"BREVARD" NAVD 1988 ELEVATION 20.00'
2. THIS SURVEY IS REFERENCED TO A GRID PROJECTION OF THE FLORIDA STATE PLANE COORDINATE SYSTEM (WEST ZONE NAD 1983/2011 ADJUSTMENT).
3. THIS IS NOT A BOUNDARY SURVEY. PARCEL AND R/W LINES INDICATED HEREON ARE APPROXIMATE.
4. THIS SURVEY IS SUBJECT TO PERTINENT EASEMENTS, RIGHTS-OF-WAY AND RESTRICTIONS OF RECORD, IF ANY.
5. THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTY OR PARTIES CERTIFIED TO BELOW FOR THE EXPRESS PURPOSE STATED HEREON AND/OR CONTAINED IN THE CONTRACT BETWEEN HYATT SURVEY SERVICES, INC. AND THE CLIENT FOR THIS PROJECT. COPYING, DISTRIBUTING AND/OR USING THIS DRAWING, IN WHOLE OR IN PART FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED WITHOUT WRITTEN CONSENT FROM HYATT SURVEY SERVICES, INC. IS STRICTLY PROHIBITED AND RENDERS THE SURVEYOR'S CERTIFICATION, SIGNATURE AND SEAL NULL AND VOID. ANY QUESTIONS CONCERNING THE CONTENT OR PURPOSE OF THIS DRAWING SHOULD BE DIRECTED TO HYATT SURVEY SERVICES, INC.

REV. NO.	DESCRIPTION	DATE

SEAL

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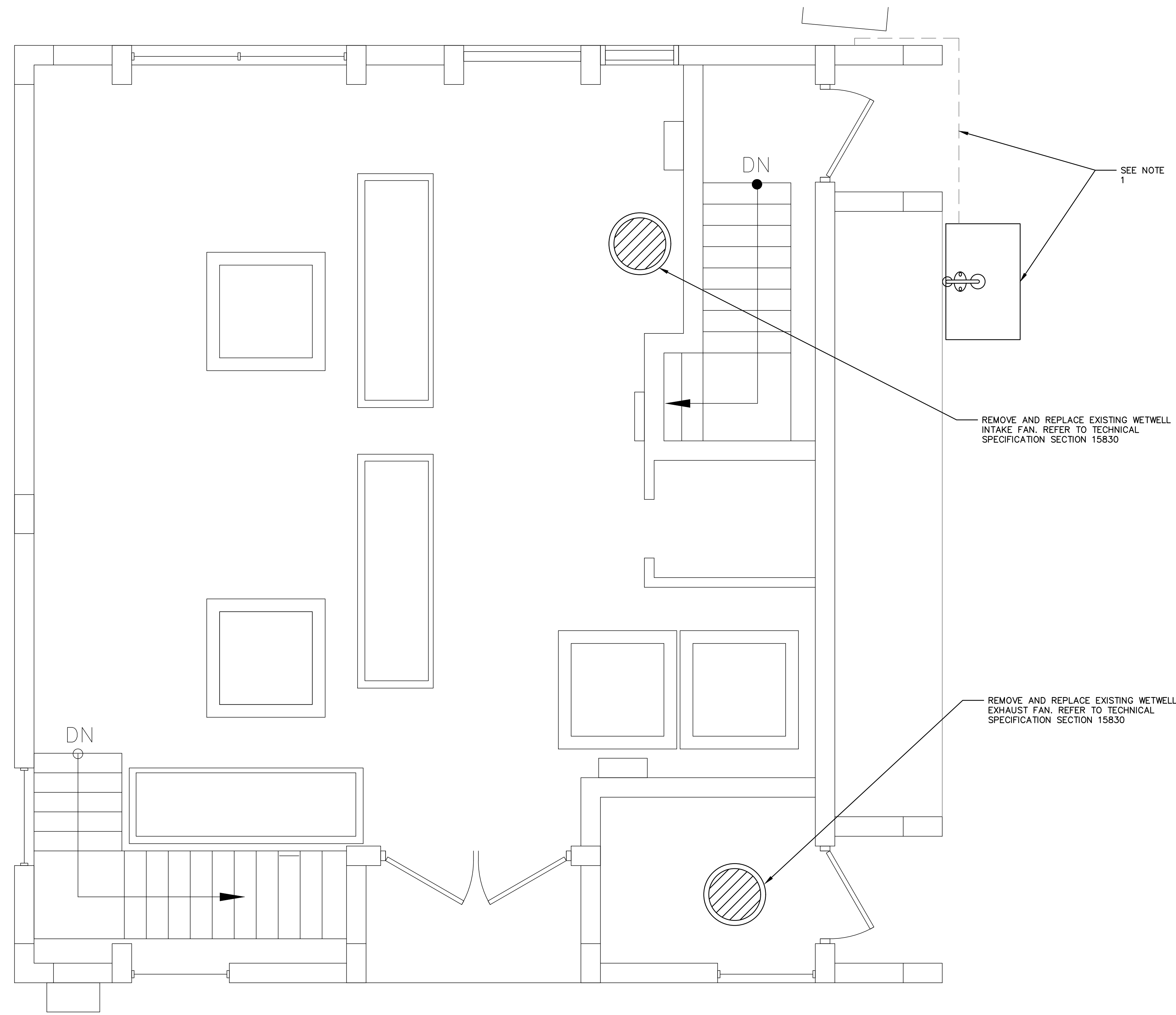
LIFT STATION 1M ELECTRICAL REHABILITATION

CIVIL SITE
SITE PLAN

PROJ. START DATE: 2020 JUN	SCALE:	C0.00 DRAWING NUMBER
MCE PROJ. # 01024-0180	HORIZONTAL:	
DRAWN JG	1"=10'-0"	
DESIGNED AAH	TBD	
CHECKED MAC	VERTICAL:	REVISION
PROJ. MGR. AAH	TBD	
STATUS:		PERMIT SET
		NOT FOR CONSTRUCTION



2 0 2
SCALE: 1/2" = 1'-0"



- NOTES:
- 1. EXTEND WATER LINE UNDERGROUND WITH NEW SHUTOFF VALVE TO NEW LOCATION. PROVIDE NEW 3'X4' CONCRETE PAD UNDER NEW EYEWASH/SHOWER. ALL EXPOSED PIPING TO BE GALVANIZED.
 - 2. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE ROOFING SYSTEM RESULTING FROM REMOVING AND REPLACING THE INTAKE AND EXHAUST FANS.

SEE NOTE 1

REMOVE AND REPLACE EXISTING WETWELL INTAKE FAN. REFER TO TECHNICAL SPECIFICATION SECTION 15830

REMOVE AND REPLACE EXISTING WETWELL EXHAUST FAN. REFER TO TECHNICAL SPECIFICATION SECTION 15830

PARTIAL FLOOR PLAN
SCALE: 1/2"=1'-0"

REV. NO.	DESCRIPTION	DATE

REVISIONS

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Manatee County
FLORIDA

LIFT STATION 1M ELECTRICAL REHABILITATION

MECHANICAL
WETWELL INTAKE AND EXHAUST FAN REPLACEMENT

PROJ. START DATE: 2020 JUN
MCE PROJ. # 01024-0180
DRAWN CW
DESIGNED DC
CHECKED MAC
PROJ. MGR. AAH

SCALE
HORIZONTAL: 1/2"=1'-0"
VERTICAL: N/A

DRAWING NUMBER: **M0.00**
REVISION: ---

STATUS: **PERMIT SET NOT FOR CONSTRUCTION**

1 GENERAL NOTES

1.1 ALL WORK IS TO BE PERFORMED IN A GOOD, WORKMANLIKE AND PROFESSIONAL MANNER.

1.2 ALL CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH THE REQUIREMENTS OF THE FLORIDA STATE BUILDING CODE (FBC), LATEST EDITION, OR LOCAL BUILDING CODE REQUIREMENTS IF MORE STRINGENT.

1.3 THESE DRAWINGS DO NOT SHOW PROVISIONS FOR SAFETY DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE THE REQUIRED BRACING, SHORING, AND SAFETY DEVICES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT.

2 COORDINATION

2.1 STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH & COORDINATED WITH CIVIL AND ELECTRICAL DRAWINGS, INCLUDING VENDOR SUBMITTAL DRAWINGS AND OTHER CONTRACT DOCUMENTS.

2.2 COORDINATE THE EXACT SIZE AND LOCATION OF ALL SLEEVES AND OPENINGS THROUGH WALLS OR CONCRETE SLABS WITH CIVIL AND ELECTRICAL DRAWINGS, INCLUDING VENDOR SUBMITTAL DRAWINGS AND OTHER CONTRACT DOCUMENTS.

2.3 ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THESE DRAWINGS ARE TO BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE WORK PROCEEDS, INCLUDING ORDERING AND FABRICATING MATERIALS.

2.4 INDEPENDENT TESTING/REVIEW OF MATERIALS SHALL BE PROVIDED AS DEFINED IN PROJECT SPECIFICATIONS IF APPLICABLE. IN GENERAL PROJECT INVOLVES THE FOLLOWING:

- A. SOIL/FILL COMPACTION & BEARING.
- B. C.I.P. CONCRETE.

2.5 IF COORDINATION OF INFORMATION PRESENTED CONFLICTS W/ THE PROJECT SPECIFICATIONS, THE DRAWINGS WILL TAKE PRECEDENCE.

2.6 IN GENERAL CALL-OUTS ARE FOR NEW CONSTRUCTION U.N.O.. EXISTING CONSTRUCTION CALL-OUTS, ELEVATIONS AND DIMENSIONS OF EXISTING STRUCTURES ARE BASED ON EXISTING RECORD DRAWINGS PROVIDED TO MCKIM & CREED. THE (*) SYMBOL ON INDIVIDUAL FACILITY "STRUCTURAL" DRAWINGS INDICATES EXISTING CONSTRUCTION CALL-OUTS, CONDITIONS, ELEVATIONS AND DIMENSIONS TO BE FIELD VERIFIED BY THE GENERAL CONTRACTOR U.N.O. PRIOR TO CONSTRUCTION, INCLUDING ORDERING AND FABRICATING MATERIALS. RECORD DRAWINGS PROVIDED BY MANATEE COUNTY UTILIZED INCLUDES:

- A. "MANATEE COUNTY, FLA. SANITARY SEWERAGE PART A SECTION III - SEWAGE LIFT STATIONS" BY RUSSELL & AXON, CONSULTING ENGINEERS, INC. (D.T.D. DECEMBER 1971).

2.7 SPECIAL INSPECTIONS (IF APPLICABLE): ALL FOUNDATION SOILS, REINF. STEEL, C.I.P. CONCRETE, CONCRETE MASONRY, STRUCTURAL STEEL & PRE-CAST CONCRETE BUILDINGS/STRUCTURES WORK SHALL BE REVIEWED AS STATED IN CONJUNCTION W/ THEIR RESPECTIVE NOTES BELOW.

3 FOUNDATIONS

3.1 DESIGN ALLOWABLE SOIL BEARING PRESSURE - 2,500 PSF IN ACCORDANCE W/ THE PROJECT GEOTECHNICAL REPORT AS PREPARED BY DRIGGERS ENGINEERING SERVICES, INC. (PROJECT NO. DES 208565, D.T.D. OCTOBER ??, 2020). THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THIS VALUE PRIOR TO FOUNDATION CONSTRUCTION. IN AREAS WHERE THE SOIL DOES NOT YIELD THIS BEARING STRESS VALUE, ADJUSTMENT IN THE FOOTING DEPTHS AND FOUNDATION DIMENSION MAY BE MADE BY THE ENGINEER BEFORE WORK PROCEEDS. CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY SUCH ADJUSTMENTS.

3.2 PREPARE THE EXISTING SUBGRADE IN ACCORDANCE W/ THE PROJECT GEOTECHNICAL REPORT AS PREPARED BY DRIGGERS ENGINEERING SERVICES, INC. (PROJECT NO. DES 208565, D.T.D. OCTOBER ??, 2020). IN THE EVENT UNUSUAL SOIL CONDITIONS ARE UNCOVERED, NOTIFY THE OWNER AND ENGINEER PRIOR TO FOUNDATION CONSTRUCTION FOR INSTRUCTIONS HOW TO PROCEED. ADJUSTMENT IN THE FOOTING DEPTHS AND GENERAL FOUNDATION CONSTRUCTION MAY BE MADE BY THE ENGINEER BEFORE WORK PROCEEDS. CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY SUCH ADJUSTMENTS.

3.3 FOOTING, PIER & SLAB EXCAVATIONS AND FORMS SHALL BE REVIEWED BY AN OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO PLACEMENT OF CONCRETE.

3.4 FOOTING, PIER & SLAB ELEVATIONS SHALL NOT BE RAISED OR LOWERED WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.

3.5 ALL EXCAVATIONS SHALL BE ADEQUATELY DEWATERED BEFORE PLACEMENT OF CONCRETE. NO CONCRETE OR CONCRETE FILL SHALL BE PLACED IN STANDING WATER. ACCUMULATION EXCEEDING 1 INCH SHALL BE PUMPED OUT.

3.6 ALL FILL MATERIAL, IF REQUIRED, INSIDE THE BUILDING'S/STRUCTURE'S FOOTPRINT AND BELOW FOUNDATION'S SHALL BE SELECT MATERIAL FREE FROM ROOTS, TRASH WOOD SCRAPS, AND OTHER EXTRANEIOUS MATERIALS. PLACE FILL IN LIFTS NOT EXCEEDING THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AS PREPARED BY DRIGGERS ENGINEERING SERVICES, INC. (PROJECT NO. DES 208565, D.T.D. OCTOBER ??, 2020).

3.7 ALL FOOTINGS & PIERS SHALL BE CENTERED UNDER THE SUPPORTED WALL/COLUMN MEMBER UNLESS NOTED OTHERWISE.

3.8 CONSTRUCTION JOINTS IN FOUNDATION SLABS, WALLS & FOOTINGS SHALL BE MADE AT LOCATIONS SHOWN ON DRAWINGS.

3.9 ANCHOR BOLTS SHALL BE SET BY MEANS OF TEMPLATE. "FLOATING" ANCHOR BOLTS INTO PLACE IS PROHIBITED.

3 FOUNDATIONS CTD.

3.10 CONTRACTOR IS TO VERIFY THE ELEVATION AND LOCATION OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. ANY "KNOWN" UTILITY LINES DAMAGED WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE. IF ANY "UNKNOWN" UTILITY LINES ARE ENCOUNTERED WHEN EXCAVATING THE CONTRACTOR IS TO CEASE ALL EXCAVATION ACTIVITY UNTIL THE ENGINEER AND OWNER ARE NOTIFIED AND INSTRUCTIONS ARE PROVIDED ABOUT HOW TO PROCEED.

3.11 THE CONTRACTOR SHALL OBTAIN THE OWNER'S PERMISSION BEFORE ENCASING OR BACK FILLING AROUND ANY EXISTING UNDERGROUND STRUCTURE, PIPING, ELECTRICAL, OR OTHER UNDERGROUND WORK.

4 REINFORCING STEEL

4.1 BARS SHALL BE ROLLED FROM NEW BILLET-STEEL OF DOMESTIC MANUFACTURE CONFORMING TO "STANDARD SPECIFICATION FOR DEFORMED AND PLAIN BILLET STEEL BARS FOR CONCRETE REINFORCEMENT," ASTM A615, GRADE 60 AND SUPPLEMENTARY REQUIREMENT S-1.

4.2 DETAIL AND FABRICATE REINFORCING STEEL IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "ACI DETAILING MANUAL," LATEST PUBLICATION.

4.3 REINFORCING STEEL IN PLACE SHALL BE REVIEWED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO PLACEMENT OF CONCRETE.

4.4 WELDED WIRE FABRIC SHALL CONFORM TO "STANDARD SPECIFICATION FOR WELDED STEEL WIRE FABRIC FOR CONCRETE REINFORCEMENT," ASTM A1064.

4.5 PLACE WELDED WIRE FABRIC AT CENTER OF SLABS-ON-GRADE AND ELEVATED SLAB TOPPINGS OVER METAL DECK, UNLESS NOTED OTHERWISE.

4.6 PROVIDE BARS AT CORNERS AND INTERSECTIONS OF WALLS & FOOTINGS OF THE SAME NUMBER AND SIZE AS LONGITUDINAL BARS, U.N.O. ON THE DRAWINGS.

4.7 FABRICATE CONTINUOUS BARS IN SLABS, WALLS AND FOOTINGS TO THE LONGEST PRACTICABLE LENGTHS.

4.8 REINFORCING STEEL SHALL NOT BE BENT AFTER BEING PARTIALLY EMBEDDED IN HARDENED CONCRETE.

4.9 BARS SHALL BE COLD BENT AND SHALL NOT BE HEATED FOR ANY REASON.

4.10 REINFORCING BARS SHALL NOT BE WELDED.

4.11 REFERENCE DRAWINGS FOR REQUIREMENTS FOR LAP SPLICING REINFORCING STEEL IN CONCRETE. ALL "LCS" SHALL CONFORM TO CLASS B SPLICE CRITERIA. IT IS ACCEPTABLE TO LAP SPLICE NON "LCS" A MINIMUM OF 50 BAR DIAMETERS UNLESS NOTED OTHERWISE.

4.12 LAP SPLICED BARS IN CONCRETE ARE TO BE WIRE TIED.

4.13 LAP SPLICED BARS IN MASONRY ARE TO BE NO FARTHER APART THAN 8".

5 CONCRETE

5.1 IN GENERAL CONCRETE SHALL DEVELOP 4,000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. IN ADDITION REFERENCE "DESIGN CRITERIA" THIS DWG. & PROJECT SPECIFICATIONS FOR APPLICATION & SPECIFIC CONCRETE MIX DESIGN REQUIREMENTS.

5.2 CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318 & TO "CODE REQUIREMENTS FOR ENVIRONMENTAL ENGINEERING CONCRETE STRUCTURES", ACI 350 (LATEST EDITIONS).

5.3 PLACE 1/2 INCH EXPANSION JOINT MATERIAL BETWEEN EDGES OF CONCRETE AND VERTICAL SURFACES UNLESS NOTED OTHERWISE.

5.4 PROVIDE CONSTRUCTION OR CONTROL JOINTS IN SLABS & WALLS AT LOCATIONS SHOWN ON DRAWINGS.

5.5 CHAMFER EXPOSED EDGES OF CONCRETE 3/4 INCH, UNLESS NOTED OTHERWISE.

5.6 CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER CURING OF ALL CONCRETE. CURING METHODS SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318, "CODE REQUIREMENTS FOR ENVIRONMENTAL ENGINEERING CONCRETE STRUCTURES" ACI 350 AND "STANDARD PRACTICE FOR CURING CONCRETE," ACI 308 (LATEST EDITIONS).

5.7 UNLESS NOTED OTHERWISE DOWELS SHALL BE THE SAME NUMBER AND SIZE AS THE LARGEST VERTICAL BAR TO WHICH THEY ARE SPLICED.

5.8 REFERENCE PROJECT SPECIFICATIONS FOR REQUIRED FINISHES.

5.9 CONTRACTOR SHALL SUBMIT REBAR SHOP DRAWINGS FOR APPROVAL TO OWNER PRIOR TO FABRICATION. DO NOT FABRICATE REINFORCING PRIOR TO RECEIPT OF APPROVED SHOP DRAWINGS.

5.10 CONCRETE MIXES TO BE REVIEWED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO PLACEMENT OF CONCRETE. COMPRESSIVE STRENGTH TEST CYLINDERS TO BE REVIEWED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE THROUGHOUT CONCRETE CONSTRUCTION OF THE PROJECT.

6 GROUT

6.1 GROUT WHERE REQUIRED SHALL BE NON-SHRINK GROUT IN CONFORMANCE TO ASTM C1107.

6.2 GROUT SHALL BE NON-METALLIC AND NON-STAINING AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI.

7 MASONRY

NOT APPLICABLE.

8 STRUCTURAL STEEL

8.1 STEEL SHALL CONFORM TO "STANDARD SPECIFICATION FOR STRUCTURAL STEEL," ASTM A36 (Fy=36 ksi) FOR ANGLES, PLATES & CHANNELS, WIDE FLANGE SECTIONS SHALL CONFORM TO ASTM A992 (Fy=50ksi). HOLLOW STEEL SECTIONS (HSS) SHALL CONFORM TO ASTM A500, GRADE B (Fy=46 ksi). STEEL PIPE SHALL CONFORM TO ASTM A53, GRADE B, (Fy=35 ksi).

8.2 STEEL WORK SHALL CONFORM TO "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL BUILDINGS", OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC., (LATEST EDITION), INCLUDING ALL SUPPLEMENTS AND THE "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", (LATEST EDITION).

8.3 CONNECTION BOLTS SHALL BE 3/4 INCH DIAMETER CONFORMING TO "STANDARD SPECIFICATION FOR HIGH-STRENGTH BOLTS FOR STRUCTURAL STEEL JOINTS", ASTM A325, UNLESS NOTED OTHERWISE CONNECTIONS ARE BEARING TYPE WITH THREADS EXCLUDED FROM SHEAR PLANES (A325x).

8.4 WELDING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN WELDING SOCIETY AWS D1.1 "STRUCTURAL WELDING CODE". WELDING SHALL BE PERFORMED BY CERTIFIED PERSONNEL WHO HAVE BEEN PREVIOUSLY QUALIFIED BY TEST PRESCRIBED IN THE AWS "STRUCTURAL WELDING CODE". ELECTRODES SHALL CONFORM TO AWS 5.5, E70XX.

8.5 UNLESS SHALL BEAR EIGHT (8) INCHES MINIMUM ON MASONRY UNLESS NOTED OTHERWISE.

8.6 THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING, SHORING, AND GUYING OF STEEL FRAMING AGAINST WIND, CONSTRUCTION LOADS, AND OTHER TEMPORARY FORCES UNTIL SUCH PROTECTION IS NO LONGER REQUIRED FOR THE SAFE SUPPORT OF THE FRAMING.

8.7 ALL COPES, BLOCKS, CUTS, CUT-OFFS AND DIAMETER CUTTING OF STRUCTURAL MEMBERS SHALL HAVE ALL RE-ENTRANT CORNERS SHAPED, AND NOTCH-FREE TO A RADIUS OF AT LEAST 1/2 INCH. THE FILLET AND ITS CONTIGUOUS CUTS SHALL MEET WITHOUT OFFSET OR CUTTING PAST THE POINT OF TANGENCY.

8.8 ANCHOR BOLTS SHALL BE ASTM F1554 OR ASTM A36 & SHALL BE EITHER HEADED W/ NUTS TACK WELDED TO BOLTS OR NON-HEADED W/ HOOKS AS REQUIRED BY THE DRAWINGS. PROVIDE (2) NUTS AND WASHERS WITH EACH ANCHOR BOLT AT COLUMNS UNLESS NOTED OTHERWISE. ANCHOR BOLTS FOR EQUIPMENT & OTHER ASSEMBLIES MAY BE POST APPLIED ANCHOR ASSEMBLIES AS INDICATED ON THE DRAWINGS.

8.9 OVERSIZED AND SLOTTED HOLES SHALL NOT BE USED FOR BOLTED CONNECTIONS ON THIS PROJECT EXCEPT AT LOCATIONS NOTED ON DRAWINGS.

8.10 SPLICING OF STRUCTURAL STEEL MEMBERS IS PROHIBITED WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER, AS TO LOCATION AND TYPE OF SPLICE. ANY MEMBER HAVING A SPLICE NOT SHOWN AND DETAILED ON THE SHOP DRAWINGS WILL BE REPLACED.

8.11 PRE-GROUTING BASE PLATES IS NOT PERMITTED.

8.12 ALL HOLES IN STRUCTURAL STEEL ARE TO BE PUNCHED OR DRILLED. FLAME CUTTING OF STEEL IS STRICTLY PROHIBITED.

8.13 ALL DESIGN, DETAILING, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION.

8.14 IN GENERAL SHOP CONNECTIONS SHALL BE EITHER WELDED OR BOLTED AND FIELD CONNECTIONS SHALL BE BOLTED UNLESS NOTED OTHERWISE.

8.15 FABRICATOR/CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR OWNER/ENGINEER APPROVAL PRIOR TO FABRICATION. ALL SHOP DRAWINGS MAY BE EXPEDITED IF THE FABRICATOR ADHERES CLOSELY TO THE DETAILS, NOTES, AND INSTRUCTIONS, SHOWN ON THE DRAWINGS.

8.16 ALL GALVANIZED MATERIALS THAT ARE FIELD CUT, FIELD WELDED OR DAMAGED IN SURFACE FINISH SHALL BE CLEANED AND RE-COATED W/ A 98% ZINC RICH OXIDE AND IN CONFORMANCE W/ THE PROJECT SPECIFICATIONS.

8.17 STRUCTURAL STEEL FRAMING & DECKING ERECTION TO BE REVIEWED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE THROUGHOUT CONCRETE & STEEL CONSTRUCTION OF THE PROJECT.

9 ALUMINUM

NOT APPLICABLE.

10 PRECAST CONCRETE

10.1 PRE-CAST CONCRETE FIELD ASSEMBLED STRUCTURES TO BE DESIGNED BY THE PRE-CAST MANUFACTURER UTILIZING "DESIGN LOADS" PROVIDED THIS DRAWING AND/OR THE RESPECTIVE FACILITY STRUCTURAL DRAWINGS AND IN ACCORDANCE W/ THE PROJECT SPECIFICATIONS. COORDINATE W/ THE CIVIL, ELECTRICAL, MECHANICAL AND VENDOR EQUIPMENT DRAWINGS FOR ADDITIONAL MATERIALS REQUIRED FOR CALCULATION OF THE DEAD LOADS, LIVE LOADS AND EQUIPMENT LOADS, THAT MAY BE SUSPENDED FROM THE SIDES OF WALL PANELS AND UNDERSIDE OF THE TOP SLAB PANELS AS APPLICABLE.

10.2 PRE-CAST CONCRETE FIELD ASSEMBLED STRUCTURES MANUFACTURER IS REQUIRED TO SUBMIT DRAWINGS AND CALCULATION PACKAGES SEALED, SIGNED AND DATED BY AN ENGINEER CURRENTLY LICENSED BY THE STATE OF FLORIDA. FABRICATION OF THE PRE-CAST FIELD ASSEMBLED STRUCTURES COMPONENTS SHOULD NOT OCCUR UNTIL "FINAL" APPROVAL OF THE MANUFACTURER'S DRAWINGS AND CALCULATIONS SUBMITTALS.

10.3 REFERENCE MECHANICAL AND STRUCTURAL DRAWINGS FOR PRE-CAST CONCRETE FIELD ASSEMBLED STRUCTURES FOUNDATION SYSTEMS AND BEARING ELEVATIONS, DIMENSIONS, WALL AND TOP SLAB OPENINGS & TOP SLAB SLOPE REQUIREMENTS.

10.4 REFERENCE MECHANICAL DRAWINGS & PROJECT SPECIFICATIONS FOR ALL INTERIOR AND EXTERIOR WALL AND SLAB SECTIONS FINISH REQUIREMENTS.

10.5 PRE-CAST FIELD ASSEMBLED STRUCTURES WALL AND SLAB SECTIONS TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5,000 PSI.

10.6 REFERENCE ALL PROJECT SPECIFICATIONS RELATED TO THE PRE-CAST CONCRETE FIELD ASSEMBLED STRUCTURES FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

10.7 CONSTRUCTION ACTIVITIES RELATED TO THE PRE-CAST FIELD ASSEMBLED STRUCTURES TO BE REVIEWED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE THROUGHOUT CONCRETE CONSTRUCTION OF THE PROJECT.

11 PRE-ENGR. TIMBER TRUSS

NOT APPLICABLE.

12 PRE-ENGR. METAL BLDGS.

NOT APPLICABLE.

13 MISC. BUILDING MATERIALS

13.1 ALL MISCELLANEOUS MATERIALS ARE TO BE DELIVERED TO SITE & STAGED ON SITE PRIOR TO INSTALLATION. STORE ON SITE AS REQUIRED BY THE MATERIAL MANUFACTURER TO AVOID DAMAGE PRIOR TO INSTALLATION.

13.2 CAULK & SEALANT MATERIAL SHALL BE MASTERSEAL "NP 1" ONE COMPONENT, MOISTURE CURING HIGH PERFORMANCE POLY-URETHANE SEALANT, OR AN APPROVED EQUAL.

14 ABBREVIATIONS

14.1 THE FOLLOWING LIST OF ABBREVIATIONS IS NOT INTENDED TO REPRESENT ALL THOSE USED ON THE DRAWINGS, BUT TO SUPPLEMENT THE MORE COMMON ABBREVIATIONS USED:

- ADD'L = ADDITIONAL
- AL = ALUMINUM
- ALT. = ALTERNATE
- BLDG. = BUILDING
- BLK. = BLOCK
- BM. = BEAM
- B.O. = BOTTOM OF
- BRG. = BEARING
- C.I.P. = CAST-IN-PLACE
- CLR. = CLEAR
- CMU = CONC. MAS. UNIT
- C.O. = CLEAN OUT
- COL. = COLUMN
- CONC. = CONCRETE
- CONN. = CONNECTION
- CONST. = CONSTRUCTION
- CONT. = CONTINUOUS
- COORD. = COORDINATE
- CTR. = CENTER
- CTR'D. = CENTERED
- DBL. = DOUBLE
- DIR. = DIRECTION
- DWG. = DRAWING
- DWG.'s. = DRAWINGS
- EA. = EACH
- EL. = ELEVATION
- E.O. = EDGE OF
- EQ. = EQUAL
- EQUIP. = EQUIPMENT
- EXIST. = EXISTING
- EXP. = EXPANSION
- FLG. = FLANGE
- FDN. = FOUNDATION
- F.S. = FAR SIDE
- FT. = FEET
- FTG. = FOOTING
- G.A. = GAGE
- GALV. = GALVANIZED
- GALV'D = GALVANIZED
- HORIZ. = HORIZONTAL
- H.P. = HIGH POINT
- HRS. = HOURS
- I/F. = INSIDE FACE
- INFO. = INFORMATION
- INTR. = INTERIOR
- JST. = JOIST
- JT. = JOINT
- KB = KNEE BRACE
- LCS = LIQUID CONTAINMENT STRUCTURES
- LLH = LONG LEG HORIZONTAL
- LLV = LONG LEG VERTICAL
- L.P. = LOW POINT
- L.SL = LONG SLOTTED
- M.A.S. = MASONRY
- MAT'L = MATERIAL
- MFC. = MANUFACTURER
- MIN. = MINIMUM
- MTL. = METAL
- NOM. = NOMINAL
- N/A = NOT APPLICABLE
- NA = NOT APPLICABLE
- N.S. = NEAR SIDE
- N.T.S. = NOT TO SCALE
- O.C. = ON CENTER
- O/F = OUTSIDE FACE
- O/H = OVERHANG
- O/O = OUT TO OUT
- OPNG. = OPENING
- OPP. = OPPOSITE
- ORIENT. = ORIENTATION
- P.LCS. = PLACES
- P.P. = PUMP PAD
- RAD. = RADIUS
- REF. = REFERENCE
- REINF. = REINFORCING
- REQ'D. = REQUIRED
- RET. = RETAINING
- ROT. = ROTATE
- SIM. = SIMILAR
- SPA. = SPACED
- SPECS. = SPECIFICATIONS
- S.S. = STAINLESS STEEL
- SSL = SHORT SLOTTED
- STD. = STANDARD
- STL. = STEEL
- T&B = TOP & BOTTOM
- T/D = TURN DOWN
- THK. = THICK
- THK'D. = THICKENED
- T.O. = TOP OF
- T.O.S. = TOP OF STEEL
- TYP. = TYPICAL
- U.N.O. = UNLESS NOTED OTHERWISE
- XB = CROSS OR "X"-BRACE
- VERT. = VERTICAL
- W.P. = WORK POINT

15 DESIGN LOADS

DESIGN LOADS BASIS OF DESIGN:
FLORIDA BUILDING CODE (FBC) - 2020 EDITION
MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES - ASCE 7-10

EQUIP. LOAD: N/A
LIVE LOAD: 125 PSF (ELECTRICAL BLDG. FLOOR), 100 PSF (ACCESS STAIRS & PLATFORMS)
ROOF LOAD: 65 PSF (ELECTRICAL BLDG.)
SNOW LOAD: N/A
WIND LOAD: 160 mi/hr, EXPOSURE C, OCCUPANCY/RISK CATEGORY III

CALCULATED WIND BASE SHEARS:
Vx = 13.9 k & Vy = 4.9 k

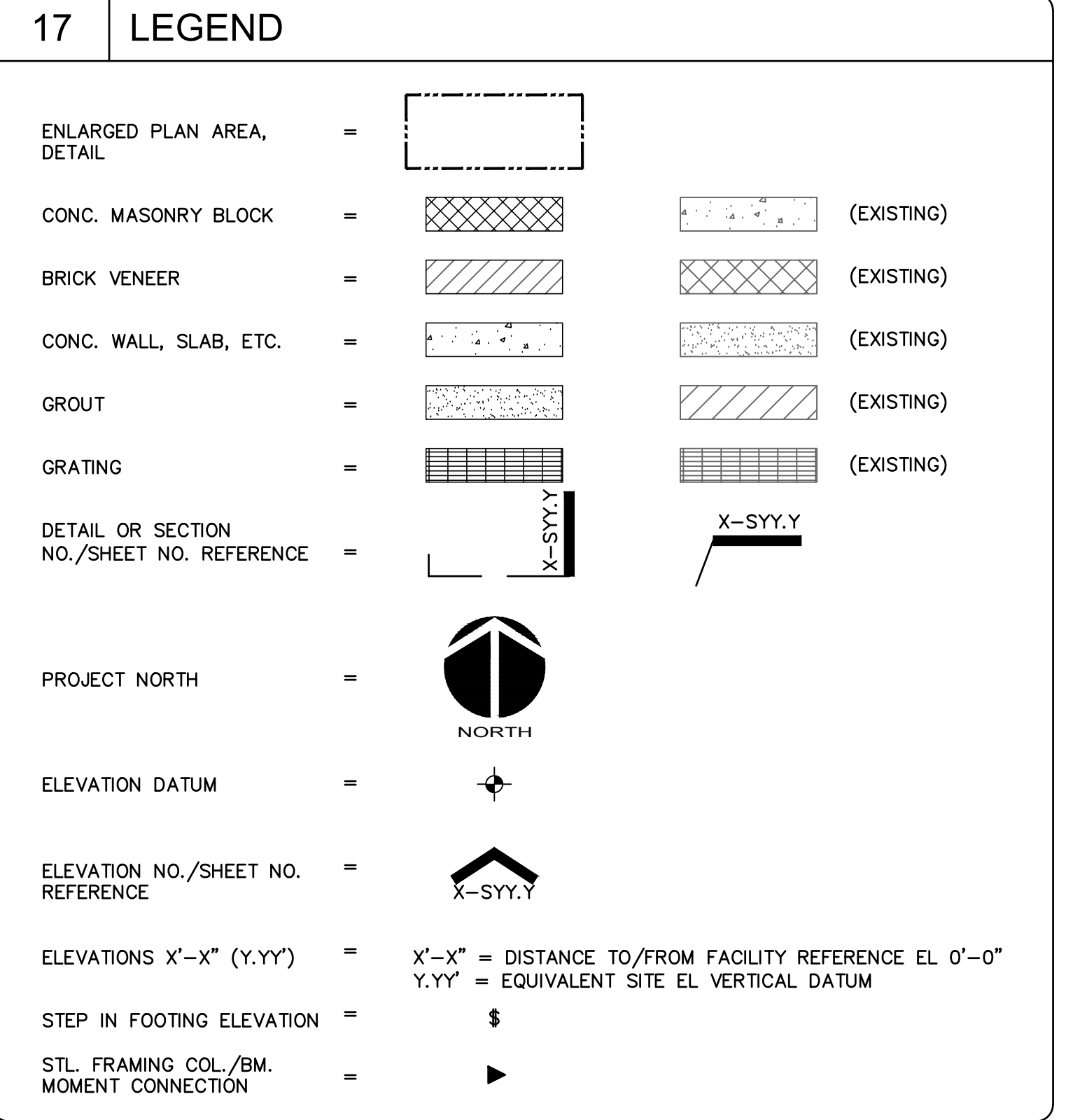
COMPONENTS & CLADDING WIND PRESSURES:
ZONE 1, ZONE 2 & ZONE 3 ROOF PRESSURES = BY ELECTRICAL BLDG. MFG.
ZONE 4 & ZONE 5 WALL PRESSURES = BY ELECTRICAL BLDG. MFG.

SEISMIC: N/A

SOIL BEARING: FIELD TEST PER PROJECT GEOTECH REPORT = 2,500 PSF
REF. "FOUNDATIONS" NOTE 3.1 DWG. SO.00

16 DESIGN CRITERIA

CONCRETE 28 DAY COMPRESSIVE STRENGTH:
SLABS-ON-GRADE & NON LCS SLABS f'c = 4,000 PSI
PIPE ENCASEMENTS: f'c = 3,000 PSI (N/A)
SLABS & WALLS OF LCS: f'c = 4,500 PSI (N/A)
BEAMS & COLUMNS OF LCS: f'c = 4,500 PSI (N/A)
NON-LCS FOOTINGS & PIERS: f'c = 4,000 PSI
BELOW GRADE & RETAINING WALLS: f'c = 4,000 PSI (N/A)
SIDEWALK, DRIVEWAY, CURB & GUTTER: f'c = 3,000 PSI (N/A)
REINFORCING STEEL: ASTM A615, GRADE 60
WELDED WIRE FABRIC: ASTM A1064
STRUCTURAL STEEL: REF. STRUCTURAL NOTE 8.1
ALUMINUM: REF. STRUCTURAL NOTE 9.2 (N/A)
BOLTS SHALL BE 3/4"Ø ASTM A325 OR TYPE 316 S.S.: REF. STRUCTURAL NOTE 8.3
ANCHOR BOLTS SHALL BE 3/4"Ø ASTM F-1554 OR ASTM A36 (STEEL); TYPE 316 S.S. (ALUMINUM): REF. STRUCTURAL NOTE 8.8
STEEL ELECTRODES SHALL CONFORM TO: AWS 5.5 E70XX
ALUMINUM WELD FILLERS ALLOYS SHALL CONFORM TO: AWS A5.10 (N/A)
SOIL BEARING CAPACITY: REF. "DESIGN LOADS" TABLE



REV. NO.	DESCRIPTION	DATE

REVISIONS

SEAL

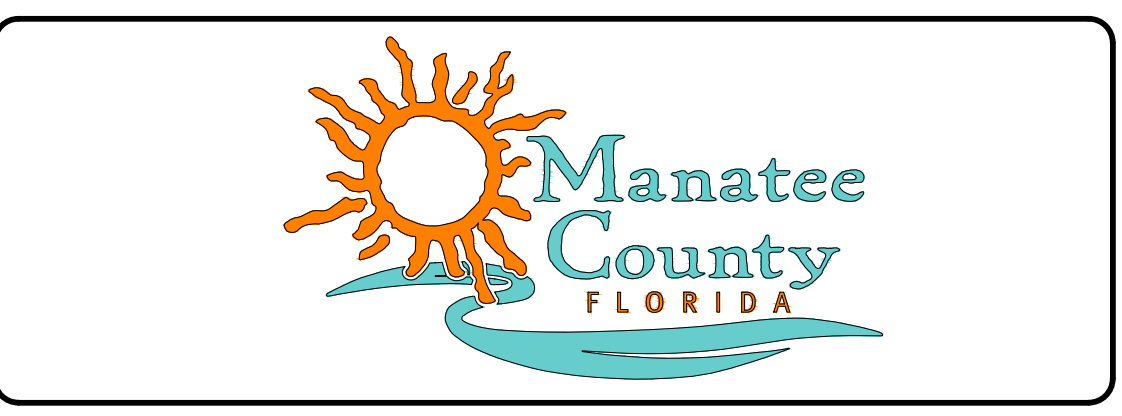
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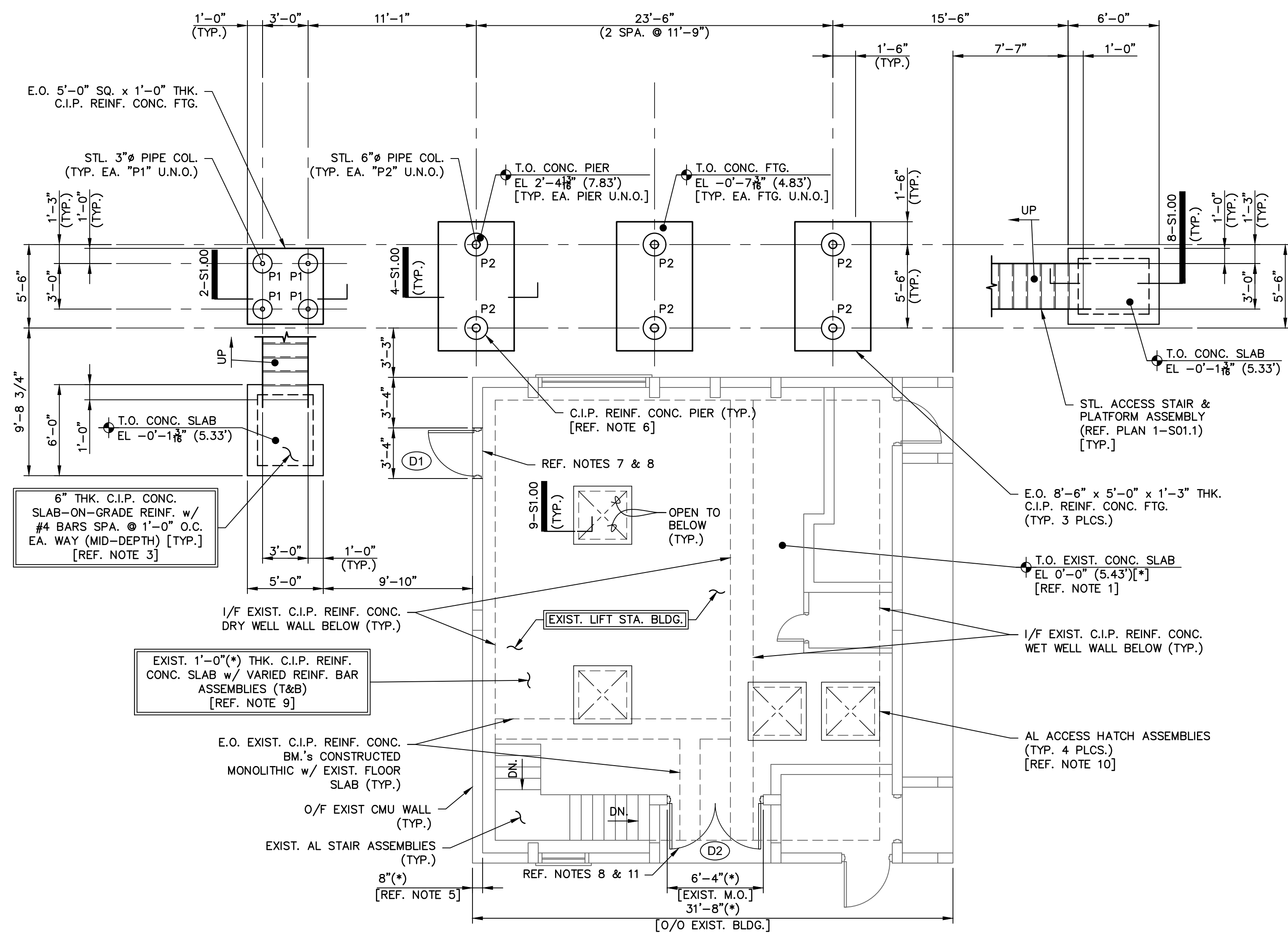


LIFT STATION 1M ELECTRICAL REHABILITATION

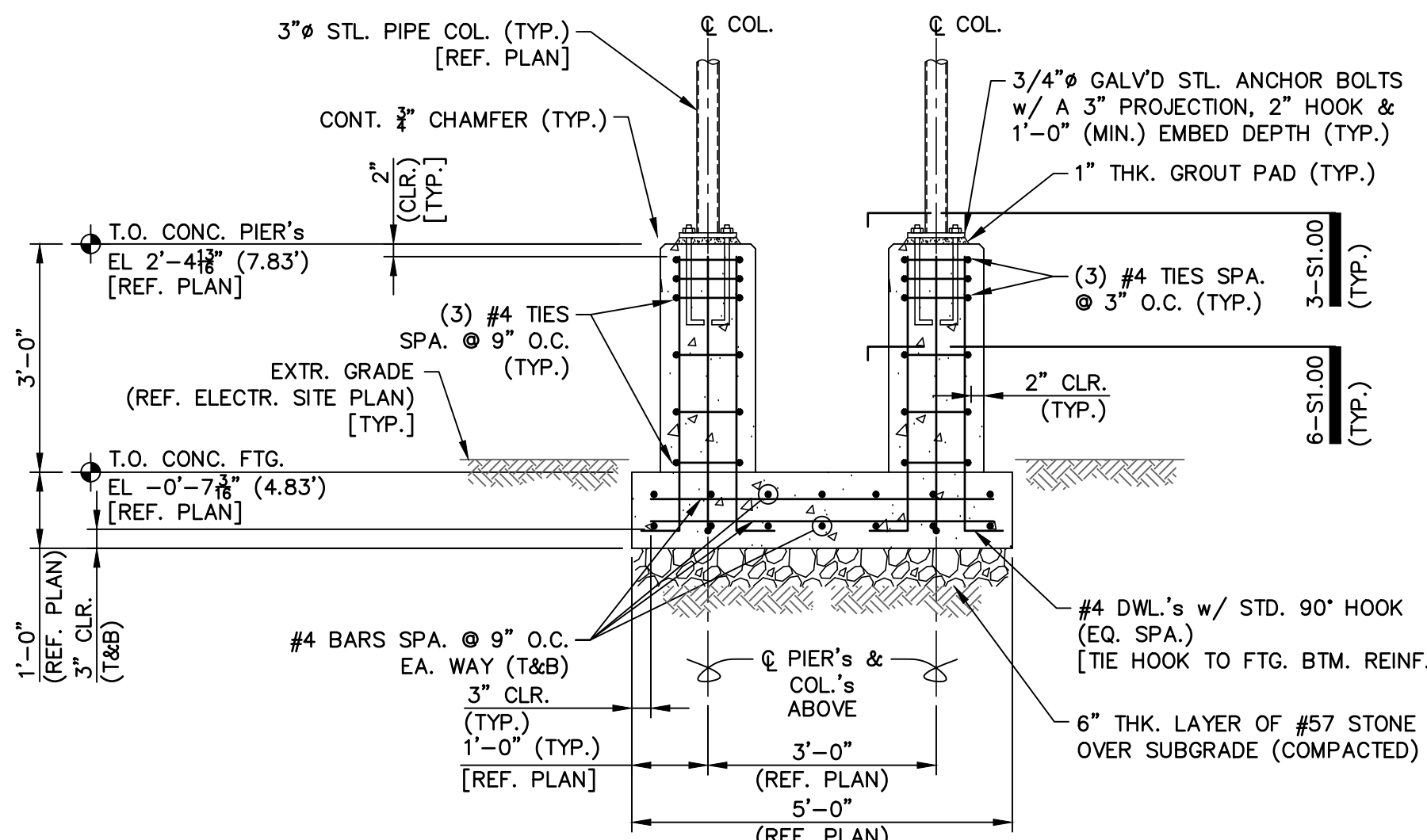
STRUCTURAL

STRUCTURAL GENERAL NOTES, DESIGN LOADS, CRITERIA & LEGEND

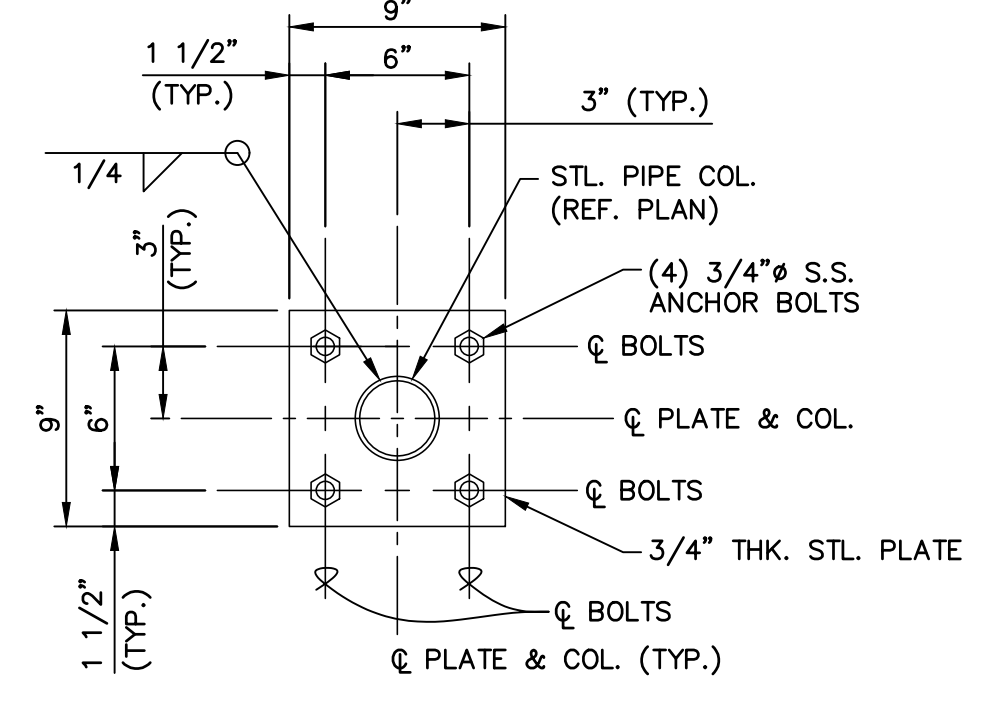
PROJ. START DATE: 2020 JUN	SCALE	\$0.00 DRAWING NUMBER
MCE PROJ. # 01024-0180	HORIZONTAL: NA	
DRAWN DAR/WFB	VERTICAL: NA	
DESIGNED WFB	REVISION	
CHECKED WFB/AEA		
PROJ. MGR. AAM		
STATUS:	PERMIT SET	
	NOT FOR CONSTRUCTION	



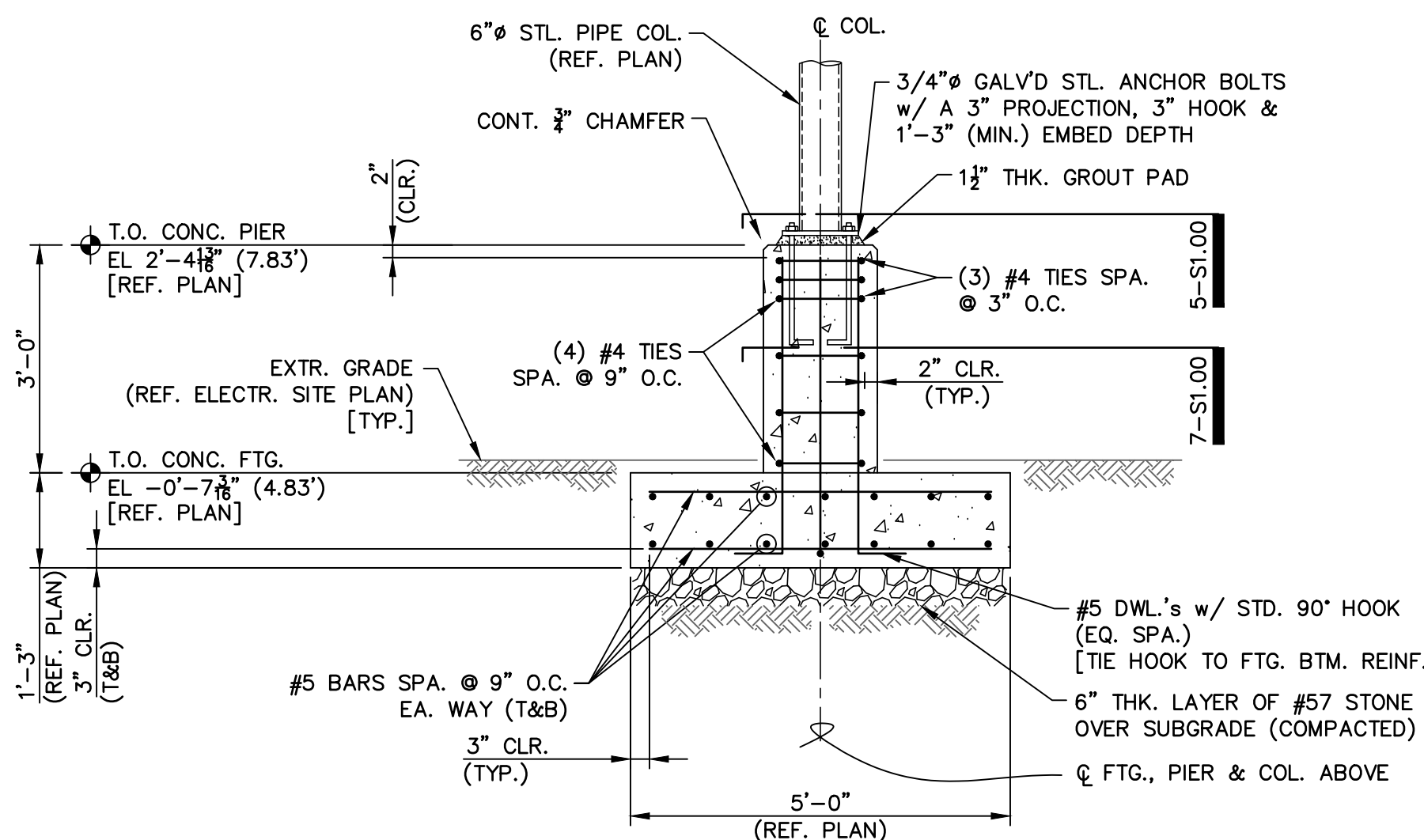
1 - PLAN - EXIST. LIFT STATION MODS & ELECTRICAL BLDG. FOUNDATION LAYOUT
SCALE: 3/16" = 1'-0"



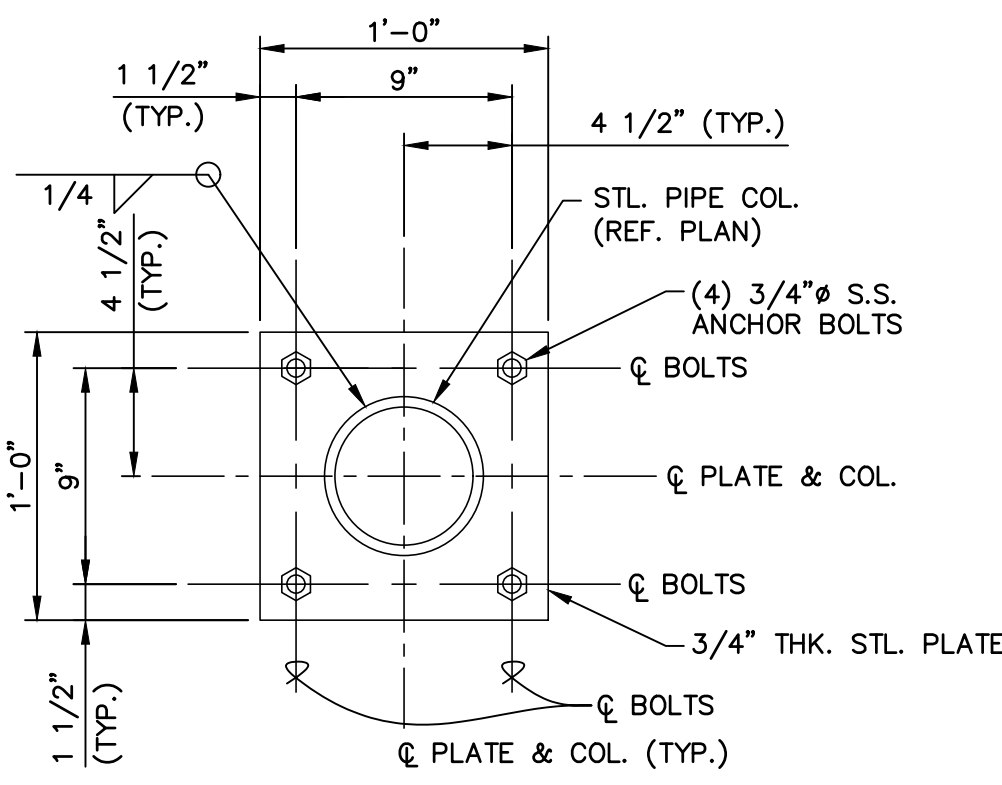
2 - SECTION - THRU STAIR LANDING FTG.
SCALE: 1/2" = 1'-0"



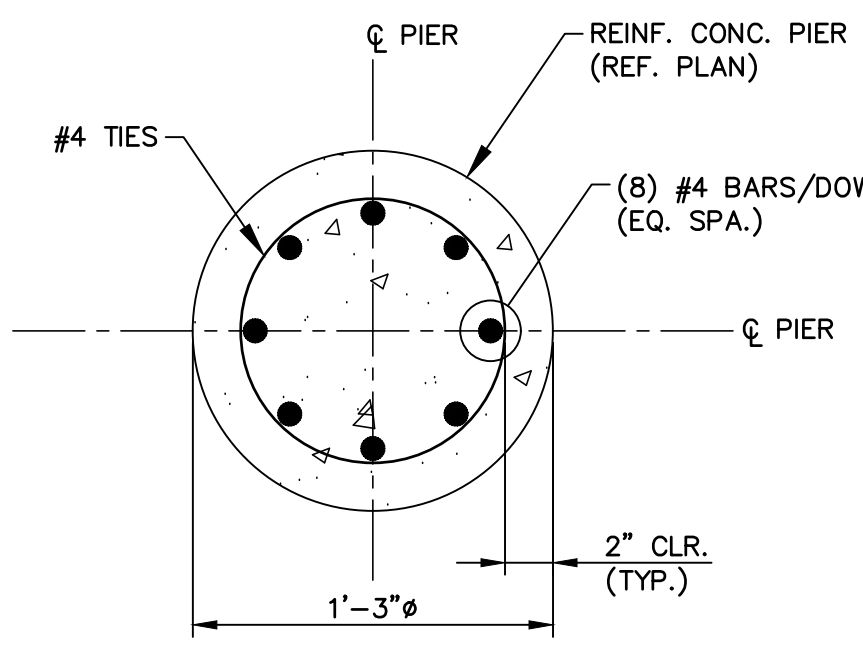
3 - SECTION - COL. BASE PLATE
SCALE: 1 1/2" = 1'-0"



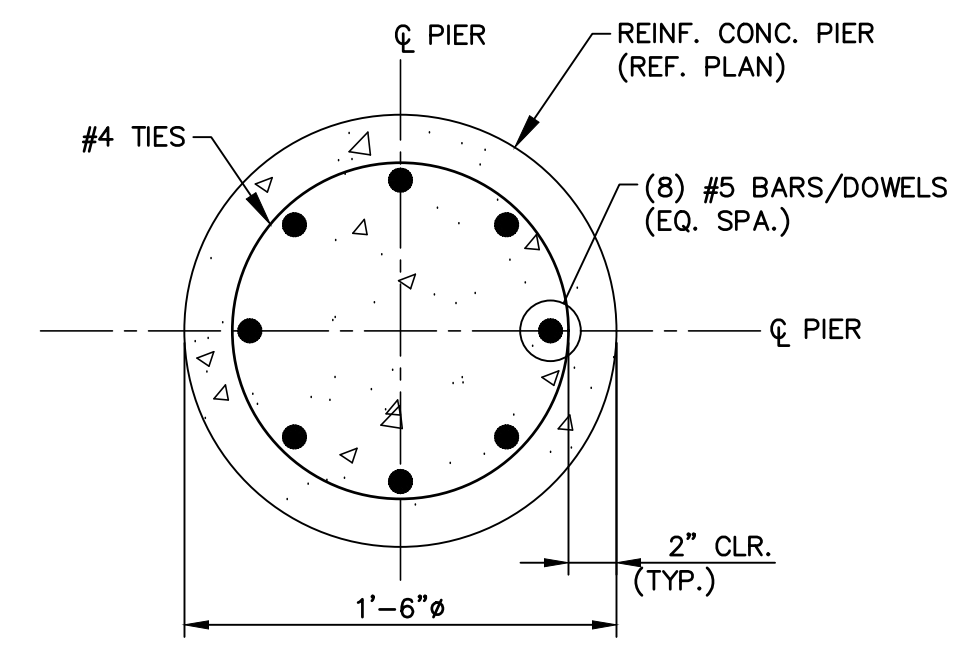
4 - SECTION - THRU ELECTR. BLDG. FTG.
SCALE: 1/2" = 1'-0"



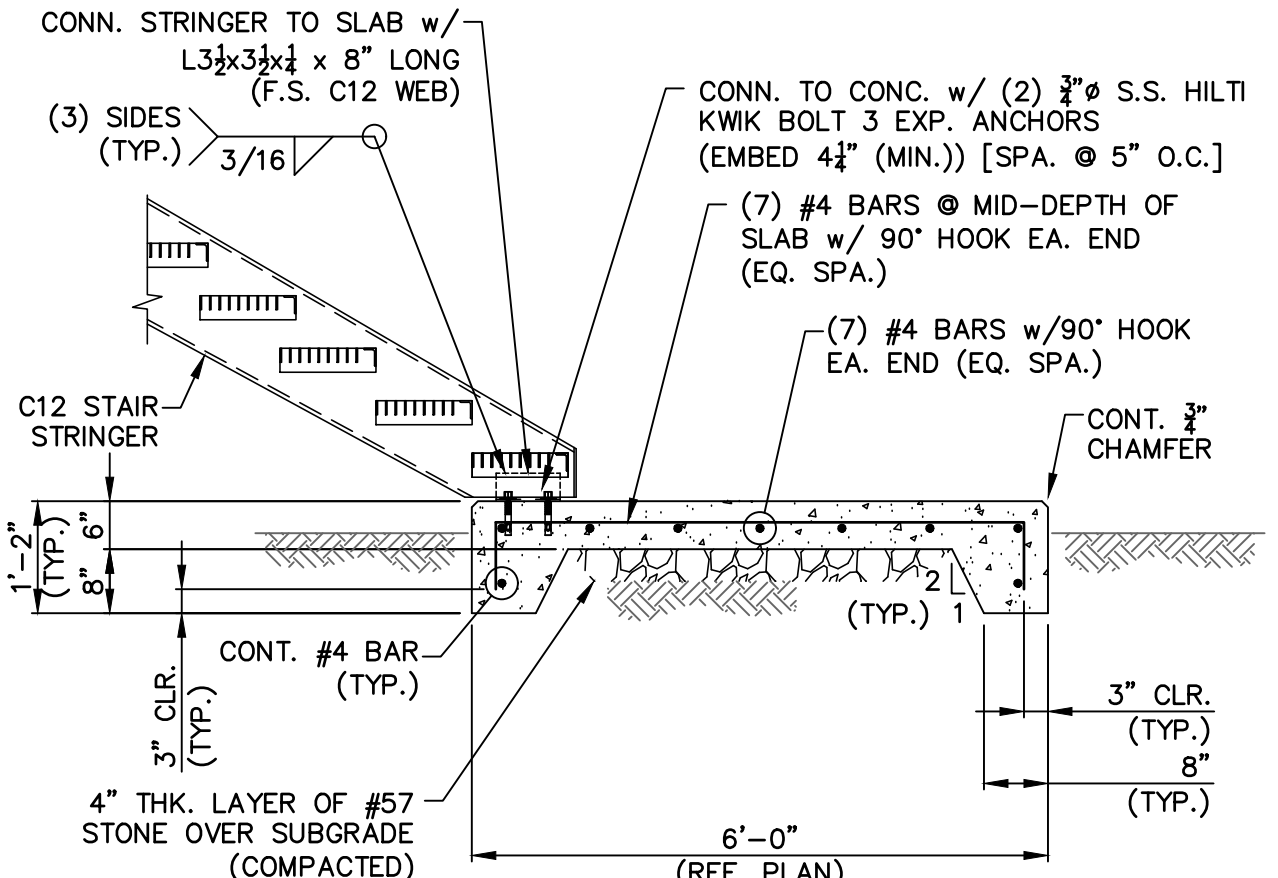
5 - SECTION - COL. BASE PLATE
SCALE: 1 1/2" = 1'-0"



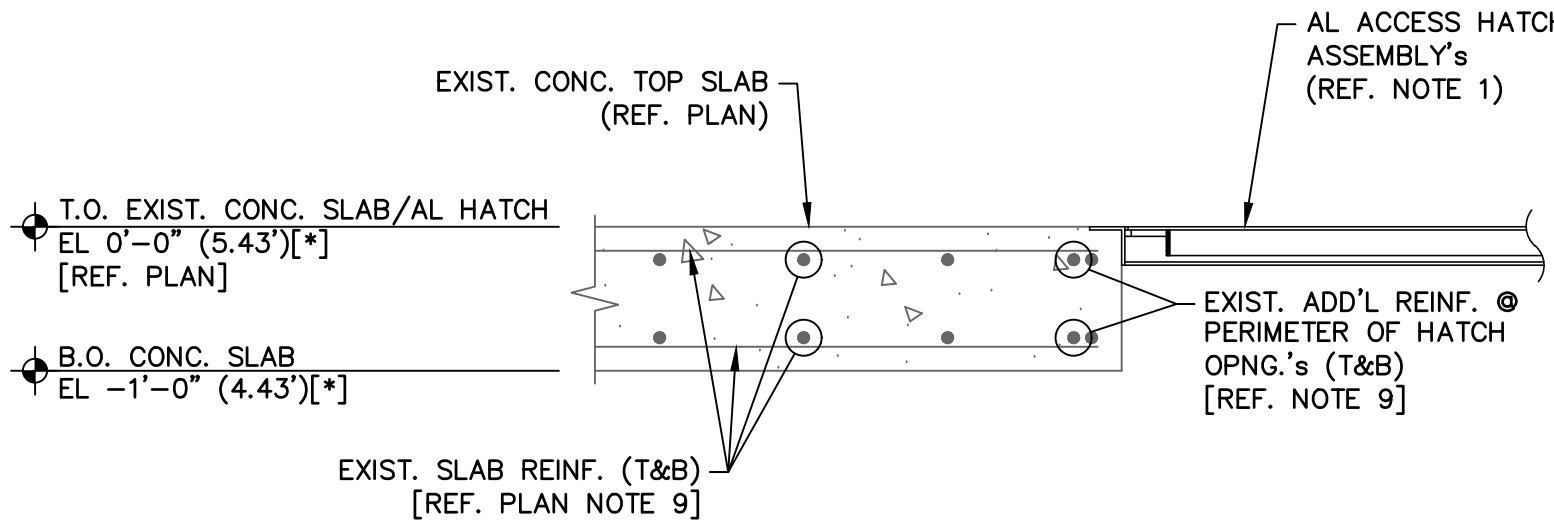
6 - SECTION - "P1" PIER REINF.
SCALE: 1 1/2" = 1'-0"



7 - SECTION - "P2" PIER REINF.
SCALE: 1 1/2" = 1'-0"



8 - SECTION - THRU STAIR LANDING PAD
SCALE: 1/2" = 1'-0"



9 - SECTION - THRU EXIST. ACCESS HATCH MODS
SCALE: 3/4" = 1'-0"

- FOUNDATION PLAN NOTES:**
- REFERENCE ELEVATION FOR THE ELECTRICAL BUILDING ADDITION AT THE EXISTING LIFT STATION FACILITY IS THE EXISTING LIFT STATION BLDG.'S OPERATING FLOOR LEVEL TOP SLAB T.O. CONC. EL 0'-0" = EL 0'-0" (5.43'). CONTRACTOR SHALL VERIFY VERTICAL DATUM INDICATED EQUALS N.A.V.D.-88. REFERENCE ELECTRICAL SITE PLAN DRAWINGS FOR ADDITIONAL INFORMATION.
 - GRADE ELEVATION AROUND THIS STRUCTURE IS 5.00'(±)[*]. REFERENCE ELECTRICAL SITE PLAN DRAWINGS FOR ADDITIONAL INFORMATION.
 - PREPARE SUBGRADE FOR THIS FACILITY PER "FOUNDATIONS" STRUCTURAL GENERAL NOTES 3.1, 3.2 & 3.6 ON DWG. S00.0.
 - EQUIPMENT LAYOUTS ARE SHOWN FOR GENERAL INFO ONLY. REFERENCE ELECTRICAL & EQUIPMENT VENDOR DRAWINGS FOR LOCATIONS & INFO REGARDING SLAB & WALL PENETRATIONS AND PIPING, CONDUIT & MISCELLANEOUS EQUIPMENT LAYOUTS EITHER SHOWN OR NOT SHOWN.
 - RECORD DWG.'S REVIEWED AND FIELD DIMENSIONS ON SITE APPEARED TO INDICATE THE NOMINAL WALL THICKNESS INDICATED.
 - REGARDING C.I.P. REINFORCED CONCRETE PIER ASSEMBLY'S NOTE THE FOLLOWING:
 - P1 = 1'-3" CONCRETE SECTIONS.
 - P2 = 1'-6" CONCRETE SECTIONS.
 - SAW-CUT EXIST. CMU WALL & EXISTING ELECTRICAL GEAR HOUSEKEEPING PAD FOR DOOR & FRAME AND LINTEL BEAM ASSEMBLY'S. REFERENCE SECTIONS & DETAILS FOR ADDITIONAL INFORMATION.
 - "(X)" SYMBOL ON PLANS REFERS TO DOOR ASSEMBLY MARK NUMBERS. DOOR ASSEMBLY'S SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING:
 - MATERIALS = STEEL HOLLOW CORE PANEL & STEEL FRAME ASSEMBLY w/ PAINTED FINISH.
 - ACCESSORIES FOR DOORS SHALL INCLUDE WINDOW PANES, DOOR LEVERS, CLOSER, CYLINDER & DEADBOLT LOCKS, PANIC HARDWARE, SILENCER, KICK PLATE & THRESHOLD.
 - COLOR TO MATCH EXISTING DOORS.
 - REFERENCE DOOR DWG. SCHEDULE & DETAILS AND PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - RECORD DRAWING'S REVIEWED INDICATED VARIOUS REINFORCING ASSEMBLY'S. NOTE THE FOLLOWING:
 - IN GENERAL BTM. REINF. = #6, #8 AND/OR #9 BARS SPA. @ 1'-0"(*) O.C. DEPENDING UPON LOCATION & DIRECTION OF SPAN.
 - IN GENERAL TOP REINF. = #6, #7 AND/OR #8 BARS SPA. @ 1'-0"(*) O.C. DEPENDING UPON LOCATION & DIRECTION OF SPAN.
 - ADDITIONAL #6 BARS AROUND PERIMETER OF DRY WELL HATCH OPENING'S.
 - ADDITIONAL #8 BARS AROUND PERIMETER OF WET WELL HATCH OPENING'S.
 - ACCESS HATCH MODIFICATIONS IN GENERAL INCLUDES REMOVAL OF THE EXISTING HATCH COVERS & INSTALLATION OF NEW ALUMINUM CHECKERED PLATE ACCESS HATCH ASSEMBLY'S. REGARDING NEW HATCH ASSEMBLY'S NOTE THE FOLLOWING:
 - COVERS SHALL BE FLUSH MOUNTED w/ THE EXISTING T.O. CONC. SLABS.
 - COVERS OVER WET WELL OPNG.'S SHALL BE HINGED ASSEMBLY'S.
 - COVERS OVER DRY WELL OPNG.'S SHALL BE REMOVABLE ASSEMBLY'S.
 - MODIFICATION OF THE EXISTING FRONT DOOR ASSEMBLY INCLUDES REMOVING THE EXISTING FRONT OF BUILDING STEEL DOUBLE LEAF DOORS, FRAME & GLASS TRANSOM, FOLLOWED BY INSTALLATION OF NEW DOOR & FRAME ASSEMBLY. REFERENCE SECTIONS & DETAILS FOR ADDITIONAL INFORMATION.
 - REFERENCE DWG. S00.00 FOR ADDITIONAL GENERAL NOTES, MATERIAL SPECIFICATIONS & REQUIREMENTS, DESIGN CRITERIA AND LEGEND.

- NOTES:**
- ACCESS HATCH ASSEMBLY'S TO INCLUDE THE FOLLOWING:
 - AL TREAD COVER PLATE.
 - S.S. HARDWARE, SLAM LOCK w/ KEY & HOLD OPEN ARM.
 - RECESSED LIFT HANDLES.
 - HINGED & LOCKABLE PROTECTIVE GRATING PANEL w/ SAFETY ORANGE COLOR COATING.
 - H=20 TRAFFIC LOADING.
 - EPDM GASKET/CUSHION.
 - AL EXTRUDED ANGLE FRAME w/ CONT. CONC. EMBED ANCHOR REMOVED. ALL SURFACES IN CONTACT w/ CONC. SHALL BE SHIPPED FROM FACTORY w/ BITUMASTIC TYPE COATING.
 - MFG.'S LIFETIME GUARANTEE.

REV. NO.	DESCRIPTION	DATE

SEAL

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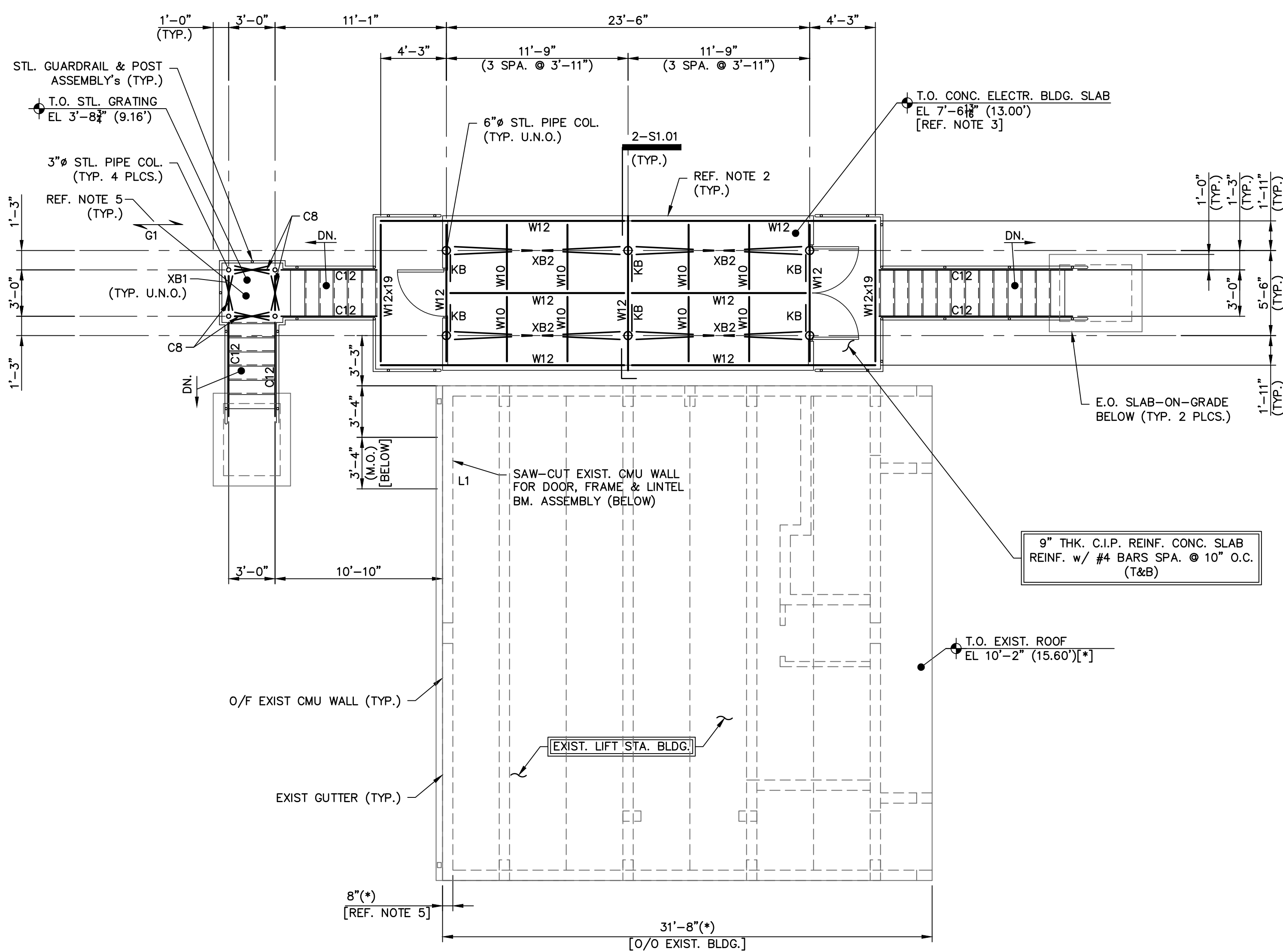
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LIFT STATION 1M ELECTRICAL REHABILITATION

STRUCTURAL

LIFT STA. MODS & ELECTR. BLDG. FDN. PLAN, SECTIONS & DETAILS

PROJ. START DATE: 2020 JUN	SCALE: HORIZONTAL: AS NOTED VERTICAL: NA	\$1.00 DRAWING NUMBER
MCE PROJ. # 01024-0180	DESIGNED: WFB	
DRAWN: DAR / WFB	CHECKED: WFB / AEA	
PROJ. MGR: AAM	STATUS: NOT FOR CONSTRUCTION	REVISION



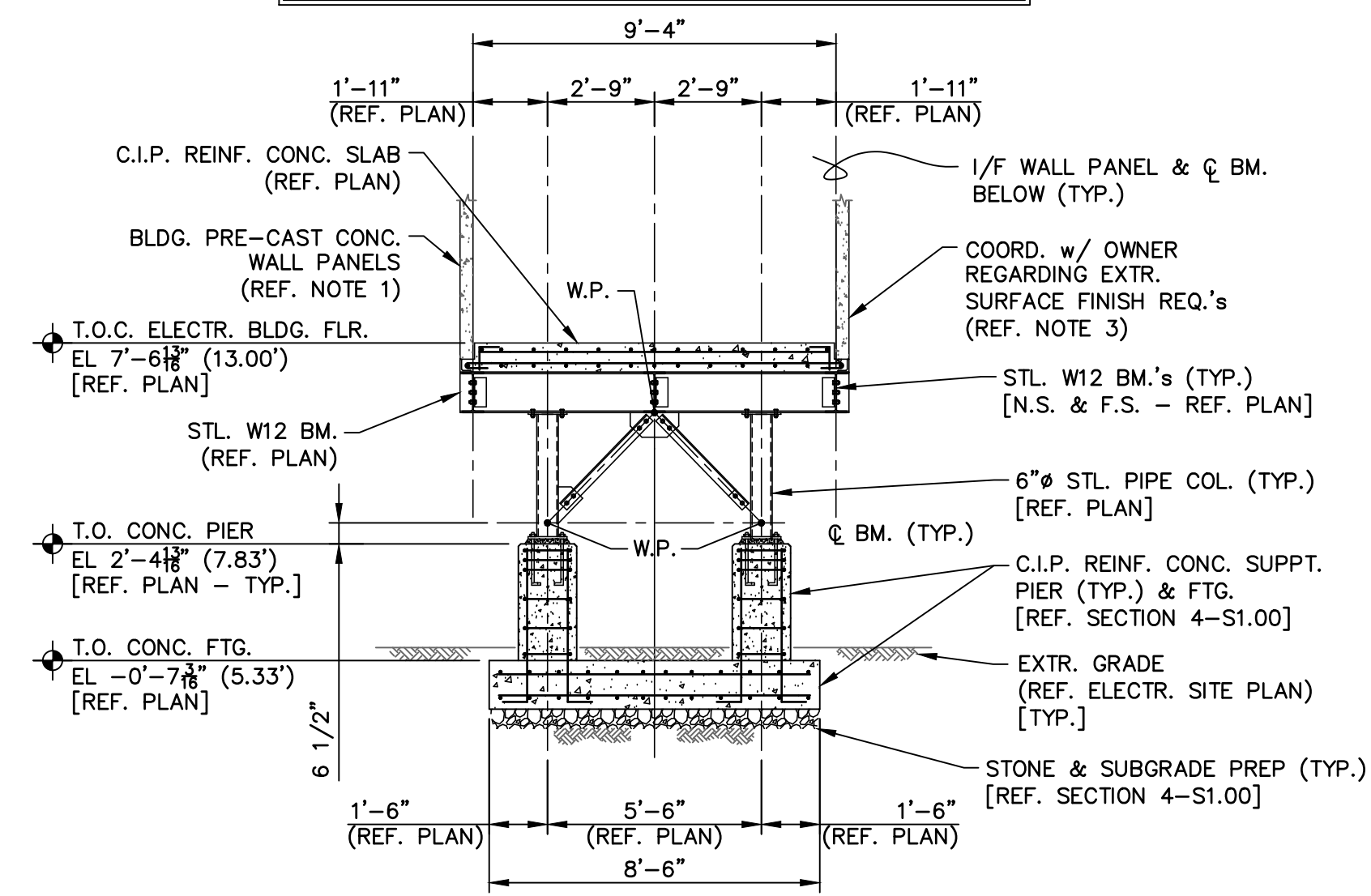
1 - PLAN - EXIST. LIFT STATION MODS & ELECTRICAL BLDG. FRAMING LAYOUT
SCALE: 3/16" = 1'-0"



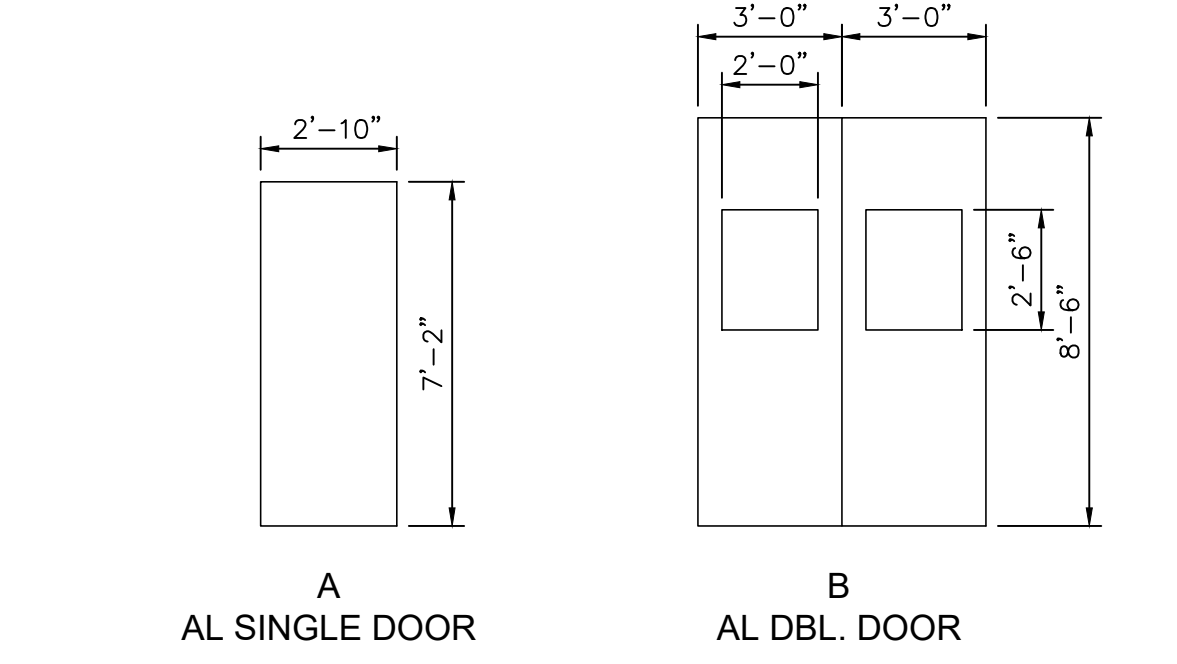
FRAMING PLAN NOTES:

- REFERENCE ELEVATION FOR THE ELECTRICAL BUILDING ADDITION AT THE EXISTING LIFT STATION FACILITY IS THE EXISTING LIFT STATION BLDG.'S OPERATING FLOOR LEVEL TOP SLAB T.O. CONC. EL 0'-0" = EL 0'-0" (5.43'). CONTRACTOR SHALL VERIFY VERTICAL DATUM INDICATED EQUALS N.A.V.D.-88. REFERENCE ELECTRICAL SITE PLAN DRAWINGS FOR ADDITIONAL INFORMATION.
- APPROXIMATE OUTLINE OF 24'-0" LONG x 10'-0" WIDE PRE-CAST CONCRETE ELECTRICAL BUILDING ASSEMBLY. REFERENCE ELECTR. DWG.'S & PROJECT SPECIFICATIONS FOR ADD'L INFO.
- EQUIPMENT LAYOUTS ARE SHOWN FOR GENERAL INFO ONLY. REFERENCE ELECTRICAL & EQUIPMENT VENDOR DRAWINGS FOR LOCATIONS & INFO REGARDING SLAB & WALL PENETRATIONS AND PIPING, CONDUIT & MISCELLANEOUS EQUIPMENT LAYOUTS EITHER SHOWN OR NOT SHOWN.
- REGARDING STEEL FRAMING ASSEMBLIES NOTE THE FOLLOWING:
 W12 = W12x35 WIDE FLANGE SECTION.
 C12 = C12x20.7 CHANNEL SECTION.
 W10 = W10x19 WIDE FLANGE SECTION.
 C8 = C8x11.5 CHANNEL SECTION.
 6"Ø = SCHEDULE 80 PIPE SECTION.
 3"Ø = SCHEDULE 40 PIPE SECTION.
 KB = L3x3x1/4 ANGLE SECTION.
 XB1 = L3x3x1/4 ANGLE SECTION.
 XB2 = L3x3x1/4 ANGLE SECTION.
- "↔" SYMBOL ON PLAN INDICATES SPAN DIRECTION OF THE STEEL BAR GRATING ASSEMBLIES MAIN BEARING BARS. IN GENERAL GRATING ASSEMBLIES ARE TO BE MANUFACTURED BY REPUTABLE VENDOR(S) EXPERIENCED IN MANUFACTURING THE ASSEMBLIES REQUIRED. GRATING ASSEMBLIES ARE TO INCLUDE RECTANGULAR MAIN BEARING BARS, RECTANGULAR CROSS BARS OR RODS AND RECTANGULAR BEARING BARS ALONG PERIMETERS OF PANELS AND OPENINGS. FABRICATE ASSEMBLIES w/ GALV'D FINISH & CONNECTED TO FORM STANDARD PANEL WIDTHS. REFERENCE PLANS, SECTIONS & DETAILS FOR ADD'L INFO & REQUIREMENTS. NOTE THE FOLLOWING:
 a.) GRATING "G1" = 1" LIGHT DUTY WELDED STEEL IN ACCORDANCE w/ MFG.'S 19-4 "W" SERIES SPACE PROFILE.
 b.) GRATING PANELS SHALL BE ANCHORED TO STEEL FRMG. w/ GALV'D STEEL FASTENERS & TYPE AS RECOMMENDED BY THE MANUFACTURER.
 c.) COORDINATE w/ THE OWNER REGARDING PANEL ASSEMBLIES INCLUDING SERRATED TOP SURFACE SKID FINISH FOR SLIP RESISTANCE.
- REFERENCE DWG. SO.00 FOR ADDITIONAL GENERAL NOTES, MATERIAL SPECIFICATIONS & REQUIREMENTS, DESIGN CRITERIA AND LEGEND.

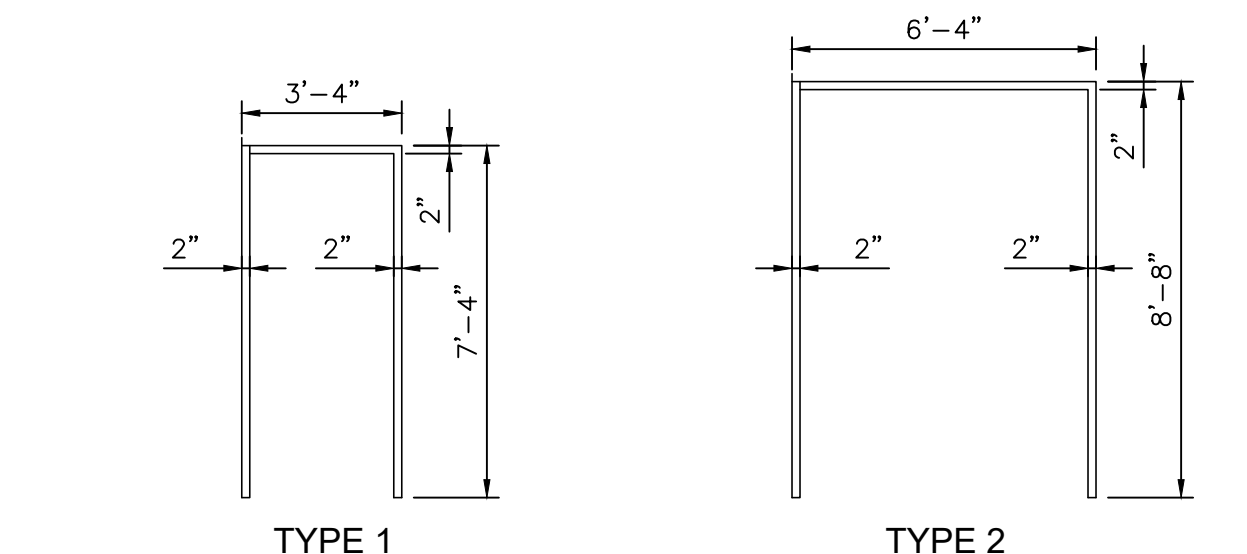
- NOTES:**
- REFERENCE BLDG. MFG.'S "APPROVED" SUBMITTAL FOR WALL THICKNESS & CONNECTIONS TO THE SLAB-ON-GRADE.
 - PREPARE COMPACTED SUBGRADE IN CONFORMANCE w/ THE PROJECT GEOTECHNICAL REPORT.
 - COORD. w/ OWNER DURING SHOP DWG. SUBMITTAL REVIEWS DURING CONSTR. REGARDING BLOCK EXTERIOR SURFACE FINISH TO BE PROVIDED.



2 - SECTION - THRU ELECTR. BLDG. SUPPT. ASSEMBLY
SCALE: 1/4" = 1'-0"



3 - DETAIL - EXIST. BLDG. MOD.'S DOOR TYPES
SCALE: 1/4" = 1'-0"



4 - DETAIL - EXIST. BLDG. MOD.'S DOOR FRAME TYPES
SCALE: 1/4" = 1'-0"

DOOR NO.	UL LABEL	DOOR				FRAME				H/W. SET	REMARKS			
		SIZE		MAT'L	TYPE	GLAZING	MAT'L	TYPE	DETAILS					
		WIDTH	HEIGHT						THK.			HEAD	JAMB	SILL
(D1)	N/A	2'-10"	7'-2"	1 1/2"	AL	A	N/A	AL	1	*1	*1	*1	*2	REF. 3-S1.01 & 4-S1.01
(D2)	N/A	3'-0" PR.	8'-6"	1 1/2"	AL	B	LAM	AL	1	*1	*1	*1	*2	REF. 3-S1.01 & 4-S1.01

MATERIAL LEGEND:

AL - ALUMINUM	FRP - FIBERGLASS REINFORCED PLASTIC	HM - HOLLOW METAL
IAL - INSULATED ALUMINUM	STL - STEEL	LAM - LAMINATE
SCW - SOLID CORE WOOD	F - FLUSH	
SCW - HALF GLASS [WOOD]	FG [W] - FULL GLASS [WOOD]	SLG - SIDE LIGHT GLASS

*1 - REF. ?S1.01 FOR HEAD, JAMB & SILL DETAILS.
*2 - REF. PLAN NOTES & PROJECT SPECS.

5 - SCHEDULE - DOORS & FRAMES
SCALE: N.T.S.

REV. NO.	DESCRIPTION	DATE

SEAL

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Manatee County
FLORIDA

LIFT STATION 1M ELECTRICAL REHABILITATION

STRUCTURAL

LIFT STA. MODS & ELECTR. BLDG. FRMG. PLAN, SECTIONS & DETAILS

PROJ. START DATE: 2020 JUN	SCALE: NA	\$1.01
MCE PROJ. # 01024-0180	HORIZONTAL: AS NOTED	
DRAWN: DAR / WFB	DESIGNED: WFB	VERTICAL: NA
CHECKED: WFB / AEA	PROJ. MGR: AAM	REVISION
STATUS: NOT FOR CONSTRUCTION		PERMIT SET

1 ABBREVIATIONS

NOTE: ALL ABBREVIATIONS MAY NOT BE UTILIZED FOR THIS PROJECT
A, AMP AMPERE
AFD ADJUSTABLE FREQUENCY DRIVE
AFF ABOVE FINISHED FLOOR
AFG ABOVE FINISHED GRADE
AHU AIR HANDLING UNIT
AIC AMPERE INTERRUPTING CAPACITY
AIT ANALYTICAL INDICATION TRANSMITTER
AL ALUMINUM
ARMS ARC-FLASH REDUCTION SYSTEM
ATS AUTOMATIC TRANSFER SWITCH
AUX AUXILIARY
AWG AMERICAN WIRE GAUGE
AQD ARC QUENCHING DEVICE
BKR BREAKER
BLDG BUILDING
BV BUTTERFLY VALVE
C CONDUIT
CAB CABINET
CB CIRCUIT BREAKER
CBV CABLE BY VENDOR, INSTALLED BY CONTRACTOR
CCTV CLOSED CIRCUIT TELEVISION
CKT CIRCUIT
CLG CEILING
CL2 CHLORINE
CP CONTROL PANEL
CPT CONTROL POWER TRANSFORMER
CR CONTROL RELAY, CORROSION RESISTANT
CS CONTROL STATION
CT CURRENT TRANSFORMER
CTRL CONTROL
CU COPPER
CV CONTROL VALVE
DB DECIBEL
DC DIRECT CURRENT
DCS DISTRIBUTED CONTROL SYSTEM
DET DUAL ELEMENT TIME DELAY
DISC DISCONNECT
DN DOWN
DPDT DOUBLE POLE DOUBLE THROW
DS DISCONNECT SWITCH
DWG DRAWING
EC EMPTY CONDUIT
EF EXHAUST FAN
EHH ELECTRICAL HANDHOLE
EL, ELEV ELEVATION
ELTU ELECTRONIC TRIP UNIT
EMER EMERGENCY
EMH ELECTRICAL MANHOLE
EMT ELECTRICAL METALLIC TUBING
ENCL ENCLOSURE
EPRF EXPLOSION PROOF EQUIPMENT
EWC ELECTRIC WATER COOLER
EWH ELECTRIC WATER HEATER
EXIST EXISTING
FA FIRE ALARM
FAAP FIRE ALARM ANNUNCIATOR PANEL
FACP FIRE ALARM CONTROL PANEL
FDR FEEDER
FIXT FIXTURE
FLA FULL LOAD AMPS
FLOUR FLUORESCENT
FMC FLEXIBLE METALLIC CONDUIT
FS FLOW SWITCH
FT FEET OR FOOT
FUT FUTURE
FVNR FULL VOLTAGE NON-REVERSING STARTER
FWE FURNISHED WITH EQUIPMENT
G, GND GROUND
GALV GALVANIZED
GEC GROUNDING ELECTRODE CONDUCTOR
GEN GENERATOR
GFI GROUND FAULT INTERRUPTER
GFCI GROUND FAULT CIRCUIT INTERRUPTER
HDG HOT DIPPED GALVANIZED
HH HANDHOLE
HOA HAND-OFF-AUTO
HP HORSE POWER
HPF HIGH POWER FACTOR
HPS HIGH PRESSURE SODIUM
HTR HEATER
HV HIGH VOLTAGE
HZ HERTZ
ID INTERIOR DIAMETER
IMC INTERMEDIATE METALLIC CONDUIT (GALVANIZED)
IMT INTERMEDIATE METALLIC
IN, " INCHES
ITB INSTRUMENT TERMINAL BOX
JB JUNCTION BOX
K THOUSAND
KA KILOVOLT AMPERE
KAIC THOUSAND AMPERES INTERRUPTING CURRENT
KMIL THOUSAND CIRCULAR MILLS
KVA THOUSAND VOLT AMPERES
KW KILOWATTS
KWH KILOWATT-HOURS
LA LIGHTNING ARRESTOR
LCP LOCAL CONTROL PANEL
LED LIGHT-EMITTING DIODE
LFMC LIQUIDTIGHT FLEXIBLE METAL CONDUIT
LFNC LIQUIDTIGHT FLEXIBLE NONMETALLIC CONDUIT
LI LEVEL INDICATION TRANSMITTER
LP LIGHTING PANEL, LIGHT POLE
LS LEVEL SWITCH
LTG LIGHTING
LV LOW VOLTAGE
M MOTOR
MA MILLIAMPERE
MCB MAIN CIRCUIT BREAKER
MCC MOTOR CONTROL CENTER
MCP MOTOR CIRCUIT PROTECTOR
MDP MAIN DISTRIBUTION PANEL
MFR MANUFACTURER
MH MANHOLE
MIN MINIMUM
MLO MAIN LUGS ONLY
MSB MAIN SWITCHBOARD
MTD MOUNTED/MOUNTING
MTG MOUNTING
MTS MANUAL TRANSFER SWITCH
MV MEDIUM VOLTAGE
NA NON-AUTOMATIC
N/A NOT APPLICABLE
NC NORMALLY CLOSE
NEC NATIONAL ELECTRIC CODE
N, NEU NEUTRAL
NG NORMALLY OPEN
NIC NOT IN CONTRACT
NTS NOT TO SCALE
OFI OWNER FURNISHED, CONTRACTOR INSTALLED
OL OVERLOAD RELAY
P POLE
PA PUBLIC ADDRESS
PB PUSH BUTTON
P/B PULL BOX
PCP PUMP CONTROL PANEL
PF POWER FACTOR
PFC POWER FACTOR CORRECTION CAPACITORS
PFD PULL FUSE DISCONNECT
P, PH PHASE
PIT PRESSURE INDICATION TRANSMITTER
PLC PROGRAMMABLE LOGIC CONTROLLER
PNL PANEL
PP POWER PANEL, POWER POLE
PRI PRIMARY
PS PRESSURE SWITCH
PT POTENTIAL TRANSFORMER
PTZ PAN-TILT-ZOOM
PVC POLYVINYL CHLORIDE
REC RECEPTACLE
REQD REQUIRED
RGS RIGID GALVANIZED STEEL
RMC RIGIDREMOTE TELEMETRY UNIT
R/S RUN/STOP HAND SWITCH
RVSS REDUCED VOLTAGE SOFT STARTER
SCCR SHORT CIRCUIT CURRENT RATING
SCADA SUPERVISORY CONTROL AND DATA ACQUISITION
SEC SECONDARY
SPARE SPARE
SPEC SPECIFICATION
SPD SURGE PROTECTION DEVICE
SS SELECTOR SWITCH
SST STAINLESS STEEL
SV SOLENOID VALVE
SW SWITCH
SWBD SWITCHBOARD
SWGR SWITCH GEAR
TEL TELEPHONE
TEMP TEMPERATURE
TEW THERMOCOUPLE EXTENSION WIRE
TMTU THERMAL-MAGNETIC TRIP UNIT
TS TEMPERATURE SWITCH
TYP TYPICAL
UG UNDERGROUND
UH UNIT HEATER
UON UNLESS OTHERWISE NOTED
UPS UNINTERRUPTIBLE POWER SUPPLY
V VOLTS
VAC VOLTS ALTERNATING CURRENT
VFD VARIABLE FREQUENCY DRIVE
WH WATT-HOUR
WP WEATHERPROOF
XFMR TRANSFORMER
XP EXPLOSION PROOF

2 FIRE ALARM SYSTEM

A/V 110 AUDIO/VISUAL ALARM INDICATOR (HORN/STROBE) NUMBER INDICATES STROBE CANDELLA RATING WHEN OTHER THAN 15
H HORN
F MANUAL PULL STATION
FACP FIRE ALARM CONTROL PANEL
B BELL
FAAS FIRE ALARM ANNUNCIATOR STATION
FS FLOW SWITCH
TS VALVE TAMPER SWITCH
END OF LINE RESISTOR
FD FLAME DETECTOR
SD SMOKE DETECTOR, MULTISENSOR
SD I SMOKE DETECTOR IONIZATION
SD P SMOKE DETECTOR PHOTOELECTRIC
SD D DUCT MOUNTED SMOKE DETECTOR
SD H THERMAL DETECTOR (FIXED AND RATE OF RISE) H-HIGH TEMPERATURE
CT SIGNAL INPUT MODULE
CC1 SIGNAL MODULE

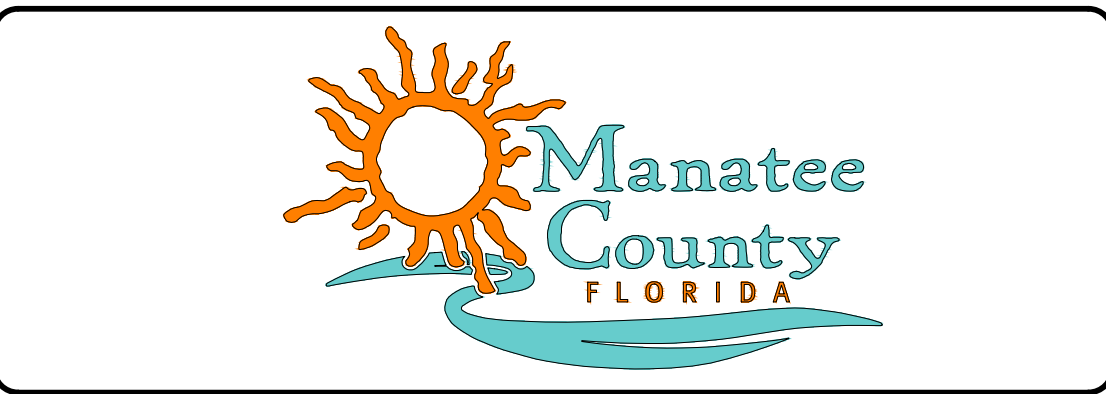
4 GENERAL ELECTRICAL NOTES

- 1. CONTRACTOR RESPONSIBILITIES:
1.1. THE CONTRACTOR SHALL READ AND UNDERSTAND THE ENTIRE SET OF CONSTRUCTION DOCUMENTS. THIS INCLUDES BUT IS NOT LIMITED TO THE PLANS AND SPECIFICATIONS FOR ALL DISCIPLINES. THIS WILL ENSURE THAT HE UNDERSTANDS THE FULL SCOPE OF WORK AND IS ABLE TO CONVEY THE REQUIRED MATERIALS AND METHODS OF INSTALLATION TO THE HIS ESTIMATORS, SUPPLIERS AND INSTALLERS.
1.2. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS.
1.3. PROVIDE MEANS TO FURNISH AND INSTALL.
1.4. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE. DO NOT SCALE FROM THESE DRAWINGS.
1.5. WHERE JOB CONDITIONS REQUIRE CHANGES FROM THE CONTRACT DOCUMENTS THAT DO NOT CHANGE THE SCOPE OF INSTALLATION OR NATURE OF THE WORK REQUIRED, THE CONTRACTOR SHALL MAKE SUCH CHANGES WITHOUT ANY ADDITIONAL COST TO THE OWNER. NO OTHER CHANGES MAY BE MADE WITHOUT WRITTEN CONSENT FROM THE ENGINEER AND OWNER.
1.6. MOUNTING HEIGHTS INDICATED ARE TO THE CENTER OF THE DEVICE U.O.N.
1.7. REFERENCE ALL SPECIFICATIONS, DRAWINGS AND CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS AND CONTRACT RESPONSIBILITIES PRIOR TO COMMENCING WORK.
1.8. THE GENERAL NOTES STATED ON THIS DRAWING ARE APPLICABLE TO ALL DRAWINGS AND SCOPE OF WORK UNDER THIS CONTRACT UNLESS NOTED OTHERWISE.
1.9. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CURRENT NFPA, NEC, NESC AND LOCAL CODES INCLUDING OWNERS STANDARDS AND REQUIREMENTS.
1.10. CONTRACTOR SHALL COORDINATE WITH THE LOCAL ELECTRICAL UTILITY TO ESTABLISH NEW ELECTRICAL SERVICE(S) AND FINAL CONNECTIONS TO PROVIDE UTILITY POWER AS REQUIRED TO INCLUDE ESTABLISHING TEMPORARY UTILITY ACCOUNT TO PROVIDE ELECTRICAL POWER FOR START-UP AND COMMISSIONING.
1.11. THE ELECTRICAL INSTALLATION SHALL EXCEED THE REQUIREMENTS OF ALL APPLICABLE NECA/NEIS STANDARDS.
1.12. CONTRACTOR SHALL PLAN AND COORDINATE ELECTRICAL CONSTRUCTION WITH ALL CRAFT/TRADE TO ACHIEVE AN EFFICIENT AND EFFECTIVE ELECTRICAL INSTALLATION.
1.13. THE SCHEDULING AND DURATION OF ANY PROCESS OR FACILITY SHUTDOWN TO REMOVE AND/OR INSTALL EQUIPMENT SHALL BE COORDINATED IN ADVANCE WITH FACILITY MANAGEMENT, ENGINEER, OWNER OR OWNER REPRESENTATIVE.
2. ELECTRICAL EQUIPMENT:
2.1. 600V RATED ELECTRICAL EQUIPMENT SHALL HAVE AN AMPERE INTERRUPTING CAPACITY (AIC) RATINGS AS SHOWN ON THE CONTRACT DRAWINGS.
2.2. EQUIPMENT SHALL BE ARRANGED AND INSTALLED TO COMPLY WITH ALL CODE-REQUIRED, MANUFACTURER-RECOMMENDED AND HEAT-DISSIPATION CLEARANCES.
2.3. EQUIPMENT INSTALLATIONS AND PLACEMENTS SHALL COMPLY WITH NEC ARTICLE 110 FOR ALL CLEARANCE REQUIREMENTS.
2.4. EQUIPMENT SHALL FIT INTO THOSE SPACES AS SHOWN ON THE CONTRACT DRAWINGS. CONTRACTOR IS RESPONSIBLE TO PROVIDE EQUIPMENT WHICH MEETS THE SPACE REQUIREMENTS.
2.5. CONTRACTOR SHALL PROVIDE ALL NECESSARY COMPONENTS REQUIRED FOR MAKING FINAL CONNECTIONS FOR ALL EQUIPMENT INSTALLED AND/OR MODIFIED UNDER CONTRACT.
3. POWER AND CONTROL SYSTEM RACEWAYS:
3.1. EXPOSED CONDUIT SHALL BE RIGID ALUMINUM CONDUIT (RAC), GRS, IMC AND EMT ARE NOT ACCEPTABLE.
3.2. CONCEALED CONDUIT EMBEDDED IN CONCRETE SHALL BE SCH-40 PVC
3.3. DIRECT-BURIED CONDUIT SHALL BE DIRECT-BURIED SCH-80 PVC
3.4. TRANSITIONS THROUGH FINISHED GRADE AND/OR CONCRETE SHALL BE PVC-COATED RAC CONDUIT.
3.5. DRAWINGS DEPICT MAJOR DUCTBANK, CABLE-TRAY, BUS-DUCT, WIRE-DUCT, WIRE-WAY, TRENCH/FLOOR DUCTS, RACEWAY, CONDUIT, ETC., TO INCLUDE CABLE, CONDUCTOR AND WIRING IN SCHEMATIC AND/OR DIAGRAMMATIC FORMATS. THE CONTRACTOR SHALL REFERENCE ALL EQUIPMENT SPECIFICATIONS AND MANUFACTURER INSTRUCTIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS.
3.6. RACEWAY INSTALLATION AND/OR ARRANGEMENT LAYOUTS ARE NOT TYPICALLY SHOWN ON THE DRAWINGS. CONTRACTOR SHALL DEVELOP LOGICAL GROUPINGS, ROUTING AND MARSHALLING OF DUCTBANK, CABLE-TRAY, BUS-DUCT, WIRE-WAY, TRENCH/FLOOR DUCT, RACEWAY, CONDUIT, ETC., THESE SHALL NOT BE ROUTED THROUGH OR INTERFERE WITH ANY STRUCTURAL ELEMENTS. CONTRACTOR SHALL SUBMIT THESE RACEWAY INSTALLATION AND/OR ARRANGEMENT LAYOUTS PER THE SPECIFICATIONS FOR ENGINEER REVIEW PRIOR TO INSTALLATION.
3.7. RACEWAY ROUTINGS SHALL BE ORGANIZED AND GROUPED IN A PRACTICAL MANNER TO MINIMIZE CROSS-OVERS AND SADDLES. RACEWAY INSTALLATIONS SHALL BE ARRANGED TO ENTER EQUIPMENT FOR DIRECT CONDUCTOR TERMINATIONS.
3.8. RACEWAYS SHALL BE INSTALLED CONCEALED UNLESS OTHERWISE NOTED OR SHOWN. THESE SHALL RUN PARALLEL TO LANDSCAPE AND STRUCTURAL FEATURES WHILE THE BENDS AND TURNS SHALL BE MADE BY MEANS OF LARGE RADIUS FITTINGS.
3.9. PROVIDE FLEXIBLE RACEWAY CONNECTIONS TO ALL EQUIPMENT SUBJECT TO MOVEMENT AND/OR VIBRATION. CONTRACTOR SHALL MAKE RACEWAY CONNECTIONS COMPLETE AND IN ACCORDANCE WITH THE SPECIFICATIONS.
3.10. CONTRACTOR SHALL PROVIDE ALL REQUIRED PULL BOXES, TERMINAL BOXES AND JUNCTION BOXES FOR INSTALLATION FOR THE WIRING SYSTEMS IN ACCORDANCE WITH THE SPECIFICATIONS THOUGH ALL BOXES MAY NOT BE INDICATED ON THE DRAWINGS.
3.12. SPARE CONDUITS SHALL BE CAPPED OR PLUGGED WITH A PVC FITTING AND INCLUDE 200# TEST POLYPROPYLENE PULL STRING.
4. CABLES/CONDUCTORS/WIRES:
4.1. GENERAL
4.1.1. QUANTITY AND SIZING OF CONDUCTORS, CABLING, WIRING AND RESPECTIVE RACEWAYS DEPICTED ON THE DRAWINGS ARE BASED UPON SELECTED STANDARD ELECTRICAL COMPONENTS OR EQUIPMENT WITH DIRECT ROUTED CONNECTIONS. CONTRACTOR MAY SUBMIT FOR REVIEW BY ENGINEER AND PRIOR TO INSTALLATION, LOGICAL CONDUCTOR AND RACEWAY GROUPINGS IN COMPLIANCE WITH APPLICABLE CODES, STANDARDS AND SPECIFICATIONS WITHOUT ADDITIONAL COST TO OWNER.
4.1.2. CONTRACTOR SHALL PROVIDE A CIRCUIT IDENTIFICATION LABEL AT EACH END OF EACH POWER, BRANCH, CONTROL AND INSTRUMENTATION CIRCUIT CABLE ASSEMBLY, CONDUCTOR OR WIRE.
4.2. POWER/FEEDER
4.2.1. CONTRACTOR SHALL NOT EXCEED CABLE MANUFACTURER SPECIFICATIONS FOR SIDE-WALL AND TENSION LIMITS WHEN DRAWING POWER CABLES INTO RACEWAYS.
4.2.2. CONTRACTOR SHALL DRAW POWER CABLES AND CONDUCTORS WITHIN RACEWAYS UTILIZING POLYMER LUBRICANT J OR APPROVED EQUAL.
4.2.3. NO SPLICES TO POWER CONDUCTORS AND/OR CABLING SHALL BE MADE WITHOUT ENGINEER APPROVAL. NO JUNCTIONS SHALL BE MADE BELOW GRADE WITHOUT APPROVAL OF ENGINEER.
4.3. POWER/BRANCH
4.3.1. RACEWAY AND WIRING FOR LIGHTING, RECEPTACLES AND BRANCH CIRCUITS ARE NOT TYPICALLY SHOWN ON THE CONTRACT DRAWINGS BUT SHALL BE PROVIDED AS REQUIRED UNDER THIS CONTRACT
5. HARDWARE AND SUPPORTS:
5.1. ALL FASTENERS AND HARDWARE SHALL BE STAINLESS-STEEL 316L.
5.2. STRUT-CHANNEL SHALL NOT BE BENT, DRILLED, CUT OR OTHERWISE MODIFIED TO PRODUCE FITTINGS, BRACES OR BRACKETS FOR CONDUIT AND EQUIPMENT SUPPORTS.
5.3. MANUFACTURED STRUT-CHANNEL BRACES, BRACKETS, FITTINGS OR POST BASES SHALL BE PROVIDED AND INSTALLED WITH ASSOCIATED HARDWARE AND FASTENERS FOR CONDUIT AND EQUIPMENT SUPPORTS.
5.4. CONTRACTOR SHALL PROVIDE ALL SUPPORTS AND FASTENING HARDWARE FOR SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, CONTROL PANELS, ETC., AS REQUIRED IN THE SPECIFICATIONS.
5.5. CONTRACTOR SHALL PROVIDE AND INSTALL CONCRETE EMBEDDED LEVELING CHANNEL SUPPORTS FOR FLOOR MOUNTED EQUIPMENT SPANNING DISTANCES 48" AND GREATER IN LENGTH OR 36" AND GREATER IN DEPTH.
5.6. STRUCTURAL MEMBERS SHALL NOT BE DRILLED, CUT, WELDED TO, OR OTHERWISE MODIFIED WITHOUT PRIOR APPROVAL OF THE ENGINEER OF RECORD.
6. RECEPTACLES/SWITCHES:
6.1. GENERAL
6.2.0.2. INDOORS OR NON PROCESS AREAS SHALL BE INSTALLED CONCEALED AND FLUSH WITH STAINLESS-STEEL DEVICE COVER PLATES.
6.2.0.3. OUTDOORS OR IN PROCESS AREAS SHALL BE INSTALLED WITHIN WEATHER-PROOF, CORROSION RESISTANT DEVICE BOXES WITH METALLIC IN-USE AND/OR WATER-TIGHT DEVICE COVER PLATES.
6.3. RECEPTACLES/GROUND FAULT CURRENT INTERRUPTING (GFCI)
6.3.1. SHALL BE INDIVIDUAL GFCI RECEPTACLE DEVICES RATED FOR 20A/120V WITH LED POWER INDICATOR.
6.3.2. GFCI RECEPTACLE DEVICES SHALL NOT SHARE NEUTRAL CONDUCTORS ON THREE-PHASE SYSTEMS

Table with 3 columns: REVNO, DESCRIPTION, DATE. Includes a REVISIONS section at the bottom.

SEAL
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LIFT STATION 1M ELECTRICAL REHABILITATION
ELECTRICAL
SYMBOLS, ABBRIVIATIONS AND NOTES

PROJ. START DATE: 2020 JUN
MCE PROJ. # 01024-0180
SCALE: E0.00
DRAWN: JG
DESIGNED: SS
CHECKED: MAC
PROJ. MGR: AAH
STATUS: PERMIT SET NOT FOR CONSTRUCTION

1 LIGHTING SYMBOLS

	FLUORESCENT LIGHTING FIXTURE – SURFACE OR PENDANT MOUNTED. FIRST NUMERAL DENOTES LIGHTING PANEL (LP1), SECOND NUMERAL DENOTES BRANCH CIRCUIT NUMBER. LOWER CASE LETTER DENOTES SWITCHED CIRCUIT.
	FLUORESCENT LIGHTING FIXTURE WITH BATTERY PACK SURFACE OR PENDANT.
	PENDANT OR CEILING MOUNTED LIGHTING FIXTURE.
	WALL MOUNTED LIGHTING FIXTURE.
	POLE OR STANCHION MOUNTED LIGHTING FIXTURE.
	TWO (2) POLE OR STANCHION MOUNTED LIGHTING FIXTURES
	POLE MOUNTED FIXTURE WITH GF RECEPTACLE
	2 LAMP SELF CONTAINED DC EMERGENCY LIGHTING UNIT. LETTER DENOTES FIXTURE TYPE.
	EXIT SIGN WALL MOUNTED (SINGLE FACE WITH INDICATING ARROWS) WITH BATTERY PACK ARROW INDICATES DIRECTION OF EXIT DOOR
	EXIT SIGN PENDANT MOUNTED (DOUBLE FACE WITH INDICATING ARROWS) WITH BATTERY PACK ARROWS INDICATE DIRECTION OF EXIT DOOR
	FIXTURE DESIGNATION SYMBOL. SEE LIGHTING FIXTURE SCHEDULE FOR DESCRIPTION AND TYPE. ALL FIXTURES SHOWN IN A ROOM WITH THIS SYMBOL SHALL BE OF TYPE INDICATED BY LETTER; NUMBER IN SYMBOL INDICATES LAMP WATTAGE AND NUMBER OF LAMPS WHERE MORE THAN ONE (UNLESS OTHERWISE NOTED). NUMBER BELOW SYMBOL INDICATES MOUNTING HEIGHT ABOVE FINISHED FLOOR OR AS NOTED.
	DUPLEX CONVENIENCE RECEPTACLE, 2 POLE, 3 WIRE, 120 VOLTS A.C. 20 AMP RECEPTACLE DESIGNATIONS, FIRST NUMBER DENOTES PANEL, SECOND NUMBER DENOTES CIRCUIT NUMBER. GF-DENOTES GROUND FAULT TYPE. SS-DENOTES SURGE SUPPRESSION TYPE. WP-DENOTES WEATHERPROOF ENCLOSURE
	SINGLE CONVENIENCE RECEPTACLE, 2 POLE, 3 WIRE, 120 VOLTS A.C. 20 AMP UNLESS NOTED OTHERWISE ON DRAWINGS.
	POWER RECEPTACLE, 2 POLE, 3 WIRE, 250 VOLTS A.C. 20 AMP UNLESS NOTED OTHERWISE ON DRAWINGS.
	PAGING UNIT
	PAGING UNIT SPEAKER
	SINGLE POLE SWITCH – LOWER CASE LETTER DENOTES SWITCHING.
	TWO POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	24V DC MOMENTARY CONTACT SWITCH – LOWER CASE DENOTES SWITCHING
	DIMMING SWITCH – LOWER CASE DENOTES SWITCHING
	MANUAL MOTOR STARTER – NUMBER DENOTES NUMBER OF POLES WHEN MORE THAN ONE.
	VARIABLE SPEED FAN SWITCH
	BRANCH CIRCUIT HOME RUN TO PANELBOARD LETTERS AND NUMERALS INDICATE PANEL AND CIRCUIT NUMBER. AS A MINIMUM, ALL WIRING SHALL BE #12 AWG IN 3/4" CONDUIT. #10 AWG WIRE SHALL BE USED FOR RUNS BETWEEN PANEL AND FIRST LIGHTING FIXTURE OR RECEPTACLE EXCEEDING 50 FEET, UNLESS OTHERWISE NOTED ON DRAWING.
	LETTERS AND NUMBERS INDICATE PANEL AND CIRCUIT NUMBER (LP1-2). CROSS LINES INDICATE NUMBER OF CONDUCTORS. HALF HASH MARKS INDICATES NEUTRAL. NUMBER (10) DENOTES WIRE SIZE WHEN NOT #12 AWG. CONTINUE CONDUIT AND WIRE RUN FROM BOX TO DEVICE IN ROOM OR AREA AS NOTED BY BRANCH CIRCUIT NUMBER. #10 AWG WIRING SHALL BE USED FOR RUNS BETWEEN PANEL AND FIRST LIGHTING FIXTURE OR RECEPTACLE EXCEEDING 50 FEET, UNLESS OTHERWISE NOTED ON DRAWING.
	INDICATES GROUND CONDUCTOR
	INDICATES HOMERUN AND CONDUIT TAG

	LIGHTING, APPLIANCE OR INSTRUMENT PANELBOARD
	CONTROL PANEL
	MOTOR CONTROL CENTER
	THERMOSTAT
	MOTORIZED DAMPER
	LOUVER MOTOR
	MOTOR, UNIT HEATER—NUMERAL DENOTES LIGHTING PANEL AND BRANCH CIRCUIT NUMBER. MOTOR SYMBOL SHOWN DASHED DENOTES EQUIPMENT LOCATED ON ROOF.
	INDICATES NEW EQUIPMENT/EXPOSED CONDUIT
	CONDUIT TURNING DOWN
	CONDUIT TURNING UP
	CONDUIT CAPPED
	INDICATES EXISTING EQUIPMENT/CONDUIT
	INDICATES CONDUIT UNDERGROUND OR CONCEALED IN CEILING, WALLS, BELOW OR IN FLOOR SLAB
	DEMOLITION
	ELECTRICAL MANHOLE
	ELECTRICAL HANDHOLE
	TELEPHONE MANHOLE
	TELEPHONE HANDHOLE
	INSTRUMENTATION MANHOLE
	INSTRUMENTATION HANDHOLE
	COMPUTER ROOM AIR CONDITIONER
	EMERGENCY INVERTER SYSTEM
	AUTOMATIC TRANSFER SWITCH
	GROUND TEST POINT
	GROUND ROD
	GROUND GRID CABLE CONNECTION
	GROUND
	#4/0 GROUND CABLE BURIED 2'-6" BELOW GRADE UNLESS OTHERWISE NOTED
	CLASS I COPPER LIGHTNING CONDUCTOR UNLESS OTHERWISE NOTED
	PHOTOCELL
	DEVICE LOCATED IN FIELD AT OR NEAR MOTOR
	DEVICE LOCATED IN CONTROL PANEL
	INDICATING LIGHT, PT-DENOTES PUSH TO TEST TYPE LETTER INDICATES LENS COLOR
	W-WHITE G-GREEN A-AMBER R-RED B-BLUE C-CLEAR
	SWITCH – TOGGLE OPEN
	MOMENTARY CONTACT PUSH BUTTON NORMALLY OPEN
	MOMENTARY CONTACT PUSH BUTTON NORMALLY CLOSED
	MOMENTARY LOCKOUT STOP PUSHBUTTON

	SWITCH – TEMPERATURE NORMALLY CLOSED. OPENS ON RISING TEMPERATURE
	SWITCH – TEMPERATURE NORMALLY OPEN. CLOSES ON RISING TEMPERATURE
	SWITCH – FLOW NORMALLY CLOSED
	SWITCH – FLOW NORMALLY OPEN
	SWITCH – LIMIT NORMALLY OPEN
	SWITCH – LIMIT NORMALLY CLOSED
	SWITCH – LIMIT HELD CLOSED
	SWITCH – LIMIT HELD OPEN
	SWITCH – LIQUID LEVEL NORMALLY OPEN. CLOSES ON RISING LEVEL
	SWITCH – LIQUID LEVEL NORMALLY CLOSED. OPENS ON RISING LEVEL
	SWITCH – PRESSURE NORMALLY CLOSED. OPENS ON RISING PRESSURE
	SWITCH – PRESSURE NORMALLY OPEN. CLOSES ON RISING PRESSURE
	VALVE LIMIT SWITCH (OPEN)
	VALVE LIMIT SWITCH (CLOSED)
	TORQUE SWITCH, OPENS ON RISING TORQUE
	TORQUE SWITCH, CLOSES ON RISING TORQUE
	NORMALLY OPEN CONTACT, NUMBER INDICATES RELAY.
	NORMALLY CLOSED CONTACT
	THERMALLY ACTUATED MOTOR OVERLOAD RELAY, LATCHES CLOSED ON OVERLOAD
	THERMALLY ACTUATED MOTOR OVERLOAD RELAY, LATCHES OPEN ON OVERLOAD
	NORMALLY OPENED CONTACT – TIMED CLOSED TIME DELAY AFTER COIL ENERGIZED
	NORMALLY CLOSED CONTACT- TIMED OPEN TIME DELAY AFTER COIL ENERGIZED
	NORMALLY OPEN CONTACT- TIMED OPEN TIME DELAY AFTER COIL DE-ENERGIZED
	NORMALLY CLOSED CONTACT- TIMED CLOSED TIME DELAY AFTER COIL DE-ENERGIZED
	SOLENOID VALVE
	MOTOR STARTER CONTACTOR COIL COIL DESIGNATION: M-COIL

	MOTOR STARTER CONTACTOR COIL COIL DESIGNATION: S-SLOW
	MOTOR STARTER CONTACTOR COIL COIL DESIGNATION: FT-FAST
	MOTOR STARTER CONTACTOR COIL COIL DESIGNATION: F-FOREWARD
	MOTOR STARTER CONTACTOR COIL COIL DESIGNATION: R-REVERSE
	MOTOR STARTER CONTACTOR COIL COIL DESIGNATION: 1S-REDUCED VOLTAGE CONTACTOR COIL #1
	MOTOR STARTER CONTACTOR COIL COIL DESIGNATION: 2S-REDUCED VOLTAGE CONTACTOR COIL #2
	MOTOR STARTER CONTACTOR COIL COIL DESIGNATION: R-RUN
	CONTROL RELAY COIL DESIGNATION: CR-CONTROL RELAY MX-AUXILIARY RELAY TR-TIMING RELAY AR-ALARM RELAY RR-READY RELAY
	SELECTOR SWITCH, 2 POSITION MAINTAINED CONTACT (O,X) DENOTES CONTACT BLOCK CONFIGURATION. X INDICATES CONTACT CLOSED, O DENOTES CONTACT OPEN.
	SELECTOR SWITCH, 3 POSITION MAINTAINED CONTACT
	MAINTAINED CONTACT PUSH BUTTON W/MECHANICAL INTERLOCK
	ELECTRIC SPACE HEATER ELEMENT
	ELAPSED TIME METER

2 AUXILIARY SYSTEM

	DOOR CONTACT
	GLASS-BREAK DETECTOR
	MOTION SENSOR
	CARD READER
	INTRUSION ALARM CONTROL PANEL
	ALARM CONTROL PANEL
	FIBER OPTIC PATCH PANEL
	CAMERA
	ALARM BEACON LETTER INDICATES COLOR
	SPEAKER/HORN H = HORN PS = PAGING SPEAKER
	CEILING MOUNTED SPEAKER
	EXISTING EXTENSION NUMBER
	COMMUNICATION/TELEPHONE D = DESK HANDSET AND SYSTEM OUTLET JACK W = WALL HANDSET AND SYSTEM OUTLET JACK EX = EXPLOSION PROOF WP = WEATHERPROOF (K) = KEYSET (I) = INTERCOM
	DATA OUTLET
	FLOOR MOUNTED DATA OUTLET
	SOUND POWERED TELEPHONE
	FLAT CABLE TRANSITION BOX
	TELEPHONE PUNCH DOWN BLOCK
	PRIVATE BRANCH EXCHANGE
	EXTERNAL PORT NODE
	FIBER CONVERTER
	LINE EXTENDER
	PAGING CONTROL CABINET
	MULTIPLEXOR
	TRANSCIVER
	MONITOR
	TI DEMARCATION
	UNINTERRUPTIBLE POWER SUPPLY

3 TYPICAL DEVICE MOUNTING HEIGHTS

RECEPTACLES (INTERIOR PROCESS AREAS)	16" AFF
RECEPTACLES (EXTERIOR PROCESS AREAS)	48" AFF
LIGHT SWITCHES	48" AFF
PHONE OUTLETS	16" AFF
PHONE OUTLETS (WALL MOUNT)	64" AFF
DATA OUTLETS	16" AFF
EXIT LIGHTS (WALL MOUNT)	16" ABOVE DOOR
EMERGENCY LIGHTS (WALL MOUNT)	96" AFF

NOTES:
DIMENSIONS ARE TO DEVICE BOTTOM UNLESS NOTED OTHERWISE. IN CONCRETE BLOCK OR BRICK WALL CONSTRUCTION, CONTRACTOR SHALL COORDINATE DEVICE BOX INSTALLATION WITH MORTAR AND CONSTRUCTION JOINTS.

REV. NO.	DESCRIPTION	DATE

SEAL

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Manatee County
FLORIDA

LIFT STATION 1M ELECTRICAL REHABILITATION

ELECTRICAL SYMBOLS

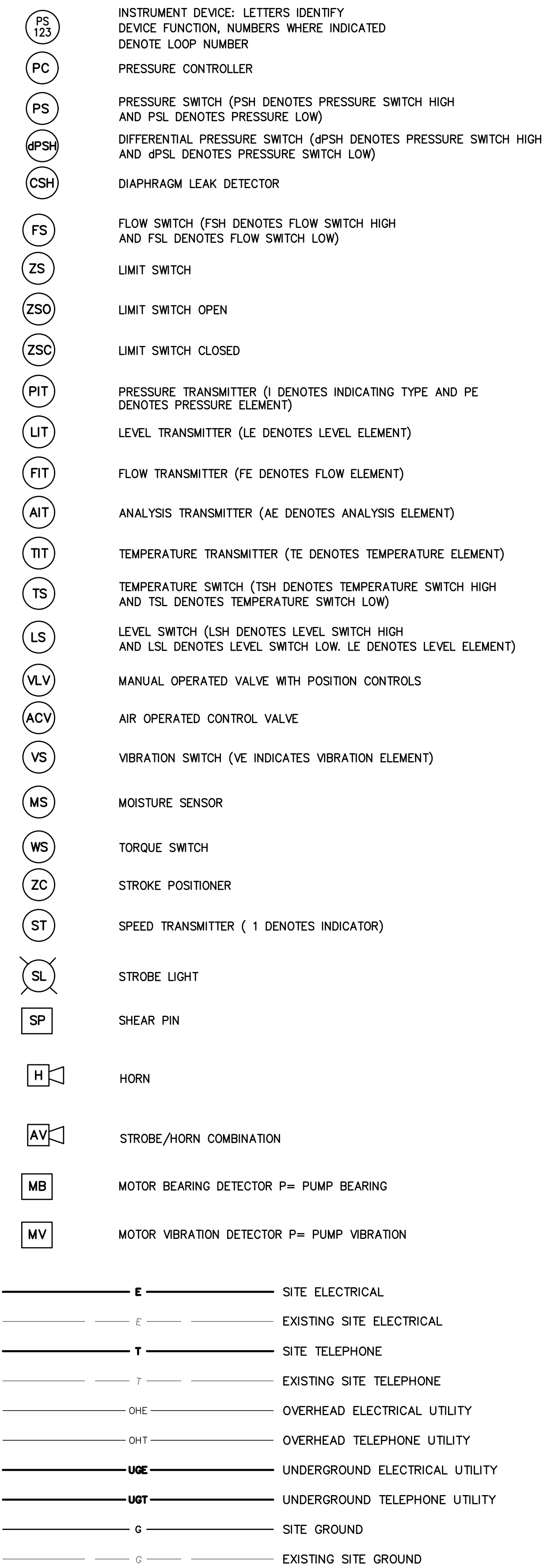
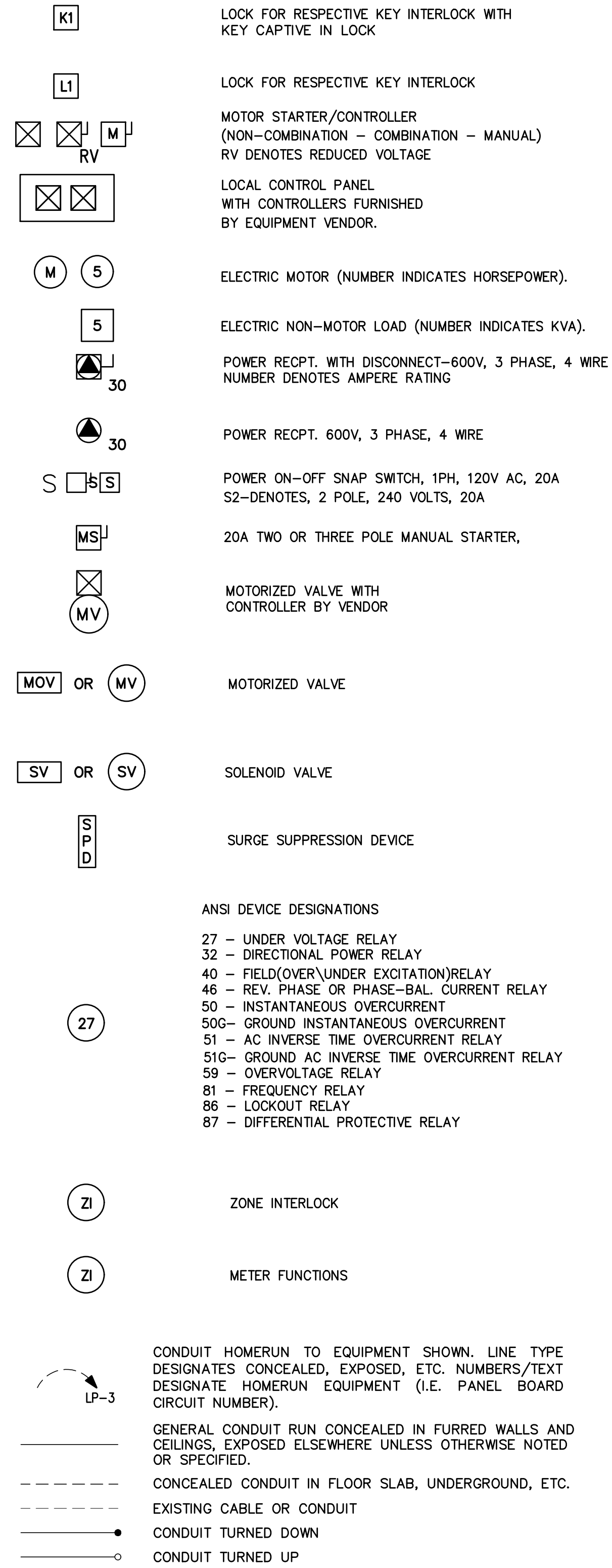
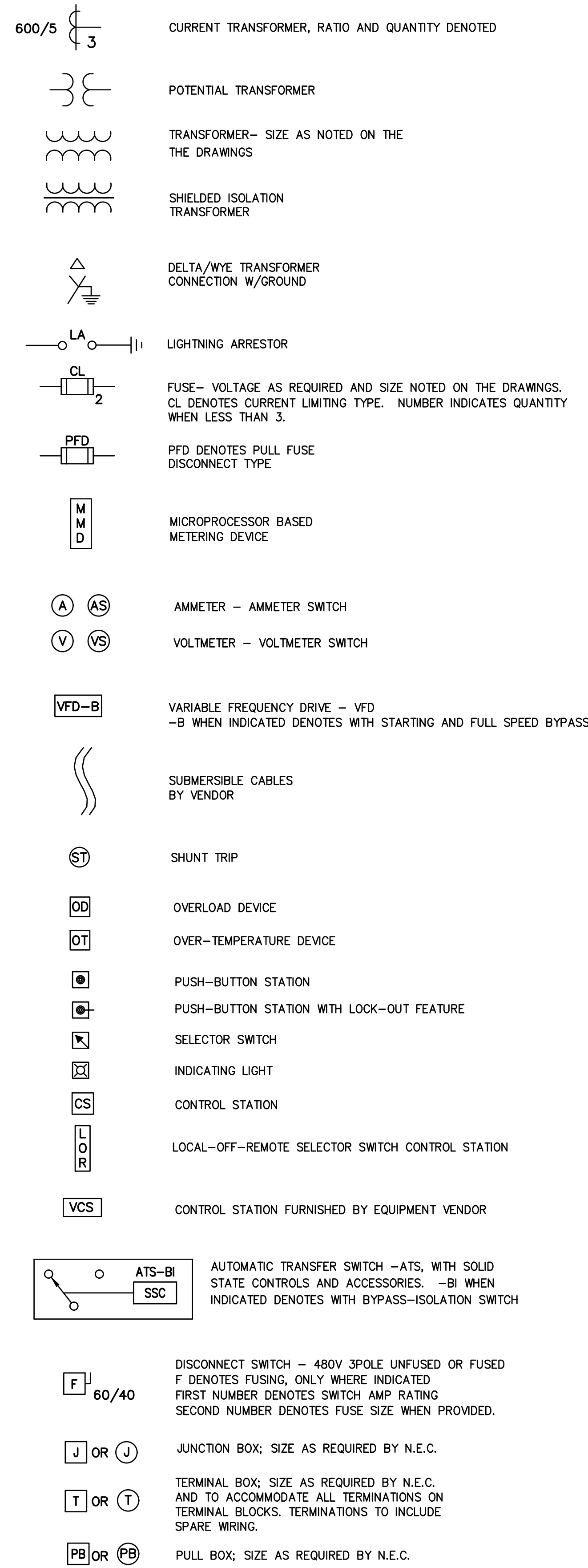
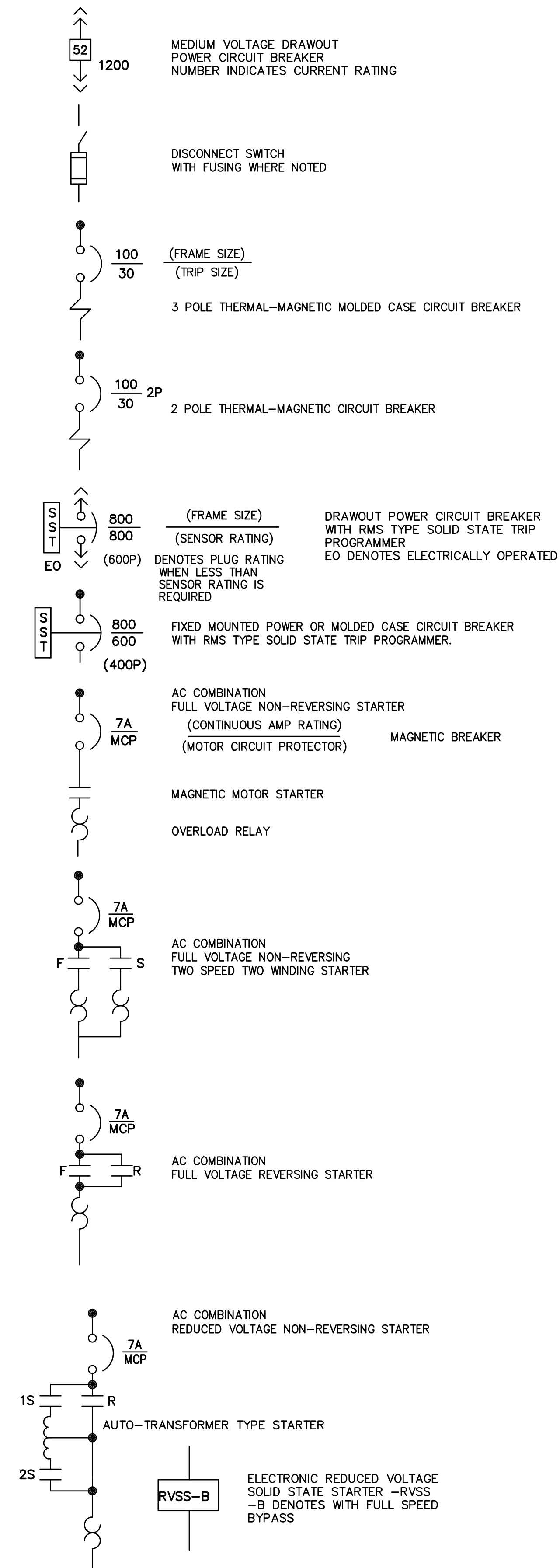
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MCE PROJ. # 01024-0180	HORIZONTAL: TBD
DRAWN JG	VERTICAL: TBD
DESIGNED SS	TBD
CHECKED AAH	
PROJ. MGR. AAH	

STATUS: **PERMIT SET**
NOT FOR CONSTRUCTION

E0.01

DRAWING NUMBER

REVISION



REV. NO.	DESCRIPTION	DATE

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LIFT STATION 1M ELECTRICAL REHABILITATION

ELECTRICAL SYMBOLS

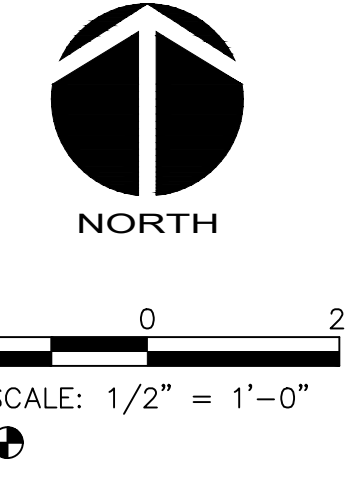
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DRAWN: JG	VERTICAL: TBD	
DESIGNED: SS	REVISION	
CHECKED: MAC		
PROJ. MGR: AAH		
STATUS: PERMIT SET		
NOT FOR CONSTRUCTION		

DEMO CONCRETE PAD AND RELOCATE RAIN GAUGE. COORDINATE NEW LOCATION WITH OWNER. SEE SHEET E1.03 FOR PROPOSED LOCATION.

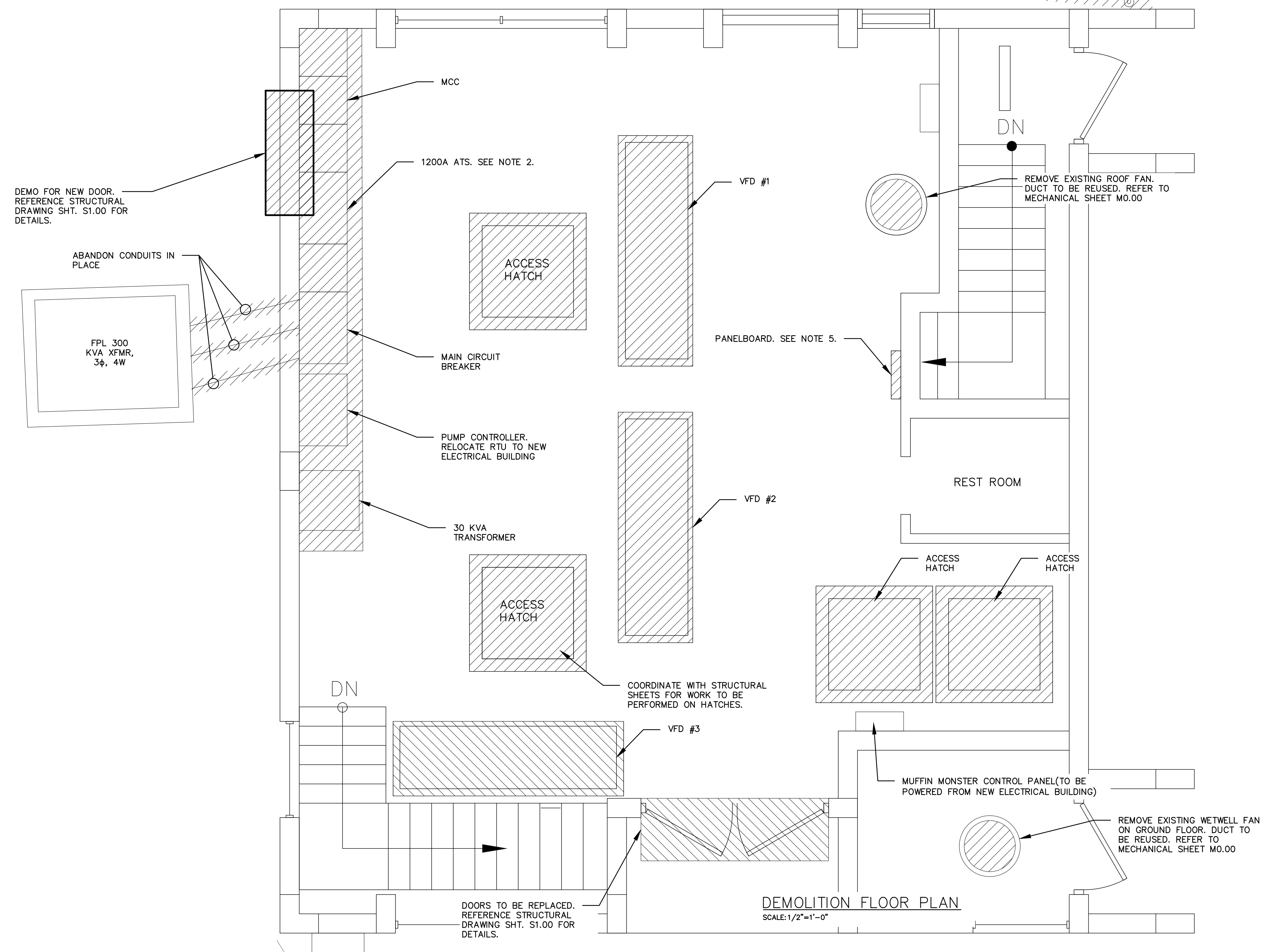
DEMO CONCRETE PAD AND RELOCATE EYE WASH AND SHOWER. SEE SHEET E1.03 FOR NEW LOCATION.

NOTES:

1. PROVIDE TEMPORARY POWER FOR CONSTRUCTION. REFER TO BYPASS PUMP SPECIFICATIONS.
2. EXISTING ATS SHALL BE RELOCATED TO NEW ELECTRICAL BUILDING AND INSTALLED IN A NEMA 1 ENCLOSURE.
3. REMOVE ALL EXPOSED CONDUIT AND WIRE NOT USED PER EQUIPMENT DEMOLITION.
4. REMOVE ALL WIRING IN UNDERGROUND CONDUIT THAT IS TO BE ABANDONED. CAP ALL ABANDONED CONDUIT.
5. INTERCEPT EXISTING CONDUIT BY INSTALLING NEMA 4X JUNCTION BOX. REPUSS ALL NEW WIRE.
6. REMOVE EQUIPMENT PADS UNDERNEATH EQUIPMENT BEING DEMOLISHED. INSTALL NEW PADS UNDER NEW EQUIPMENT, SUCH AS NEW VFD JUNCTION BOXES. REFER TO STRUCTURAL DRAWINGS.



- EQUIPMENT TO BE DEMOLISHED OR RELOCATED.



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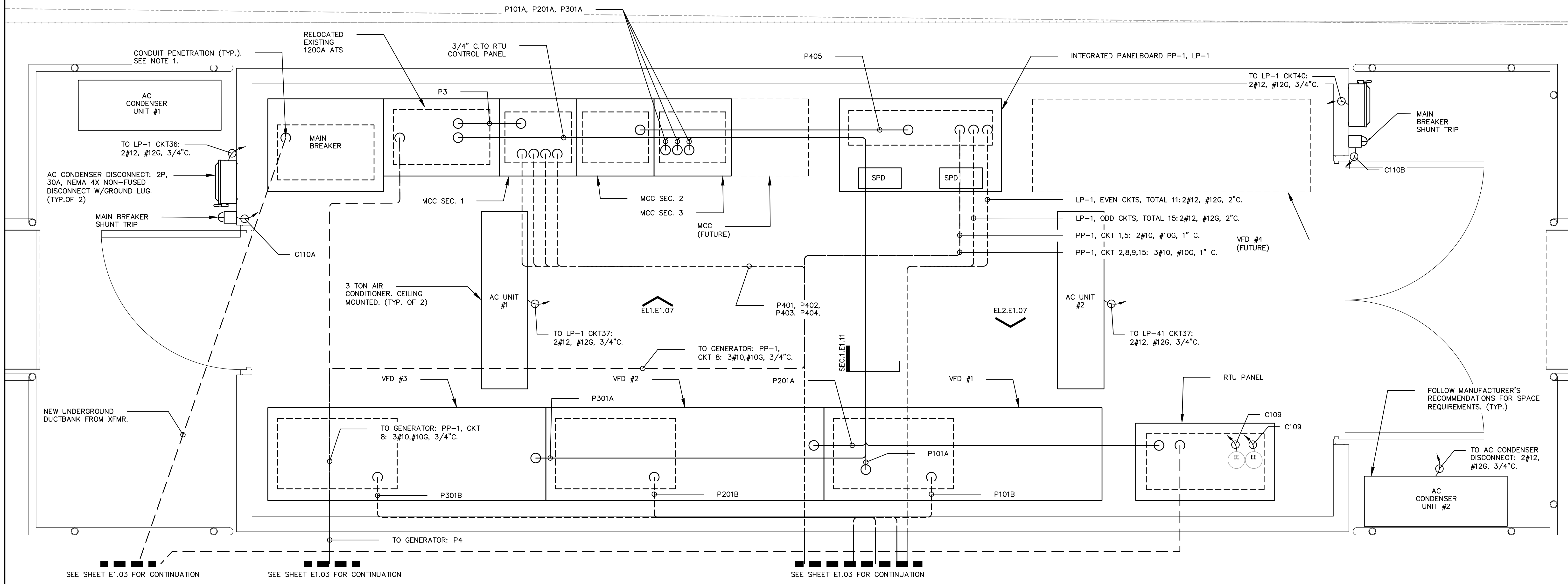
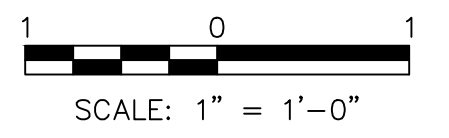
**LIFT STATION 1M ELECTRICAL
REHABILITATION**

**ELECTRICAL
DEMOLITION PLAN**

PROJ. START DATE: 2020 JUN	SCALE	E1.01 <small>DRAWING NUMBER</small>
MCE PROJ. # 01024-0180	HORIZONTAL: 1/2"=1'-0"	
DRAWN JG	VERTICAL: TBD	
DESIGNED SS	REVISION	
CHECKED MAC		
PROJ. MGR. AAH		
STATUS: PERMIT SET		
NOT FOR CONSTRUCTION		

NOTES:

- CONTRACTOR TO CORE DRILL ALL CONDUIT PENETRATIONS THROUGH CONCRETE AND SEAL AFTER INSTALLATION WITH ECOFLEX PRODUCT OR EQUAL. DUCT SEAL NOT ALLOWED. SEE SHEET E1.08 - LIGHTING PLAN FOR EQUIPMENT CUTOUT LOCATIONS.
- CABLE TRAY REMOVED FOR CLARITY. SEE E1.05
- EXISTING ATS TO BE MOUNTED IN 91.5"H X 30"W X 24" D, NEMA 1 ENCLOSURE BY UL CERTIFIED PANEL SHOP W/LABEL



ELECTRICAL BUILDING POWER PLAN
SCALE: 1"=1'-0"

REV. NO.	DESCRIPTION	DATE

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LIFT STATION 1M ELECTRICAL REHABILITATION

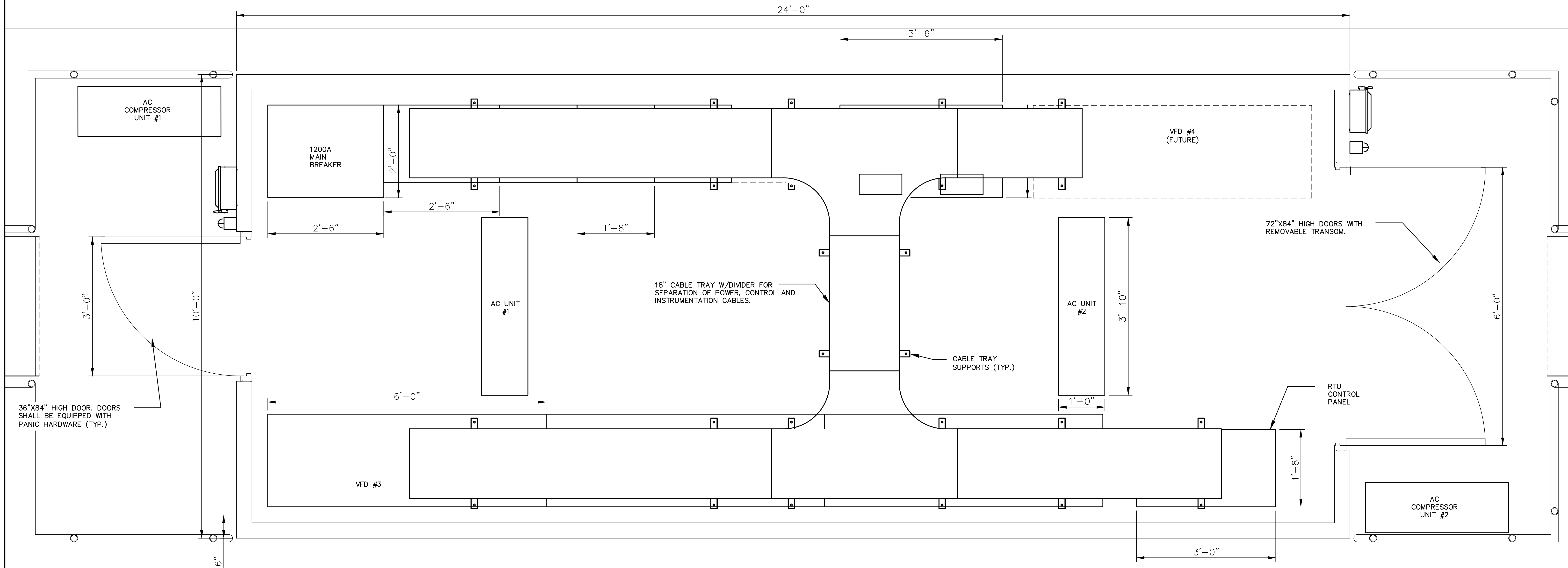
ELECTRICAL

ELECTRICAL BUILDING POWER PLAN

PROJ. START DATE: 2020 JUN	SCALE:	E1.04 DRAWING NUMBER
MCE PROJ. # 01024-0180	HORIZONTAL: 1/2"=1'-0"	
DRAWN: JG	VERTICAL: TBD	
DESIGNED: SS	TBD	
CHECKED: MAC		
PROJ. MGR: AAH		
STATUS: PERMIT SET	NOT FOR CONSTRUCTION	



SCALE: 1" = 1'-0"



36"x84" HIGH DOOR. DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE (TYP.)

72"x84" HIGH DOORS WITH REMOVABLE TRANSOM.

18" CABLE TRAY W/DIVIDER FOR SEPARATION OF POWER, CONTROL AND INSTRUMENTATION CABLES.

CABLE TRAY SUPPORTS (TYP.)

RTU CONTROL PANEL

ELECTRICAL BUILDING LAYOUT
SCALE: 1"=1'-0"

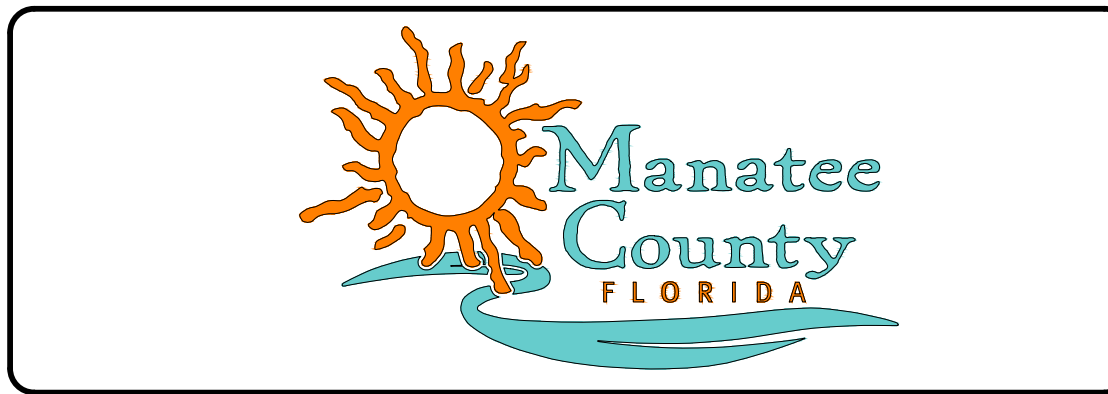
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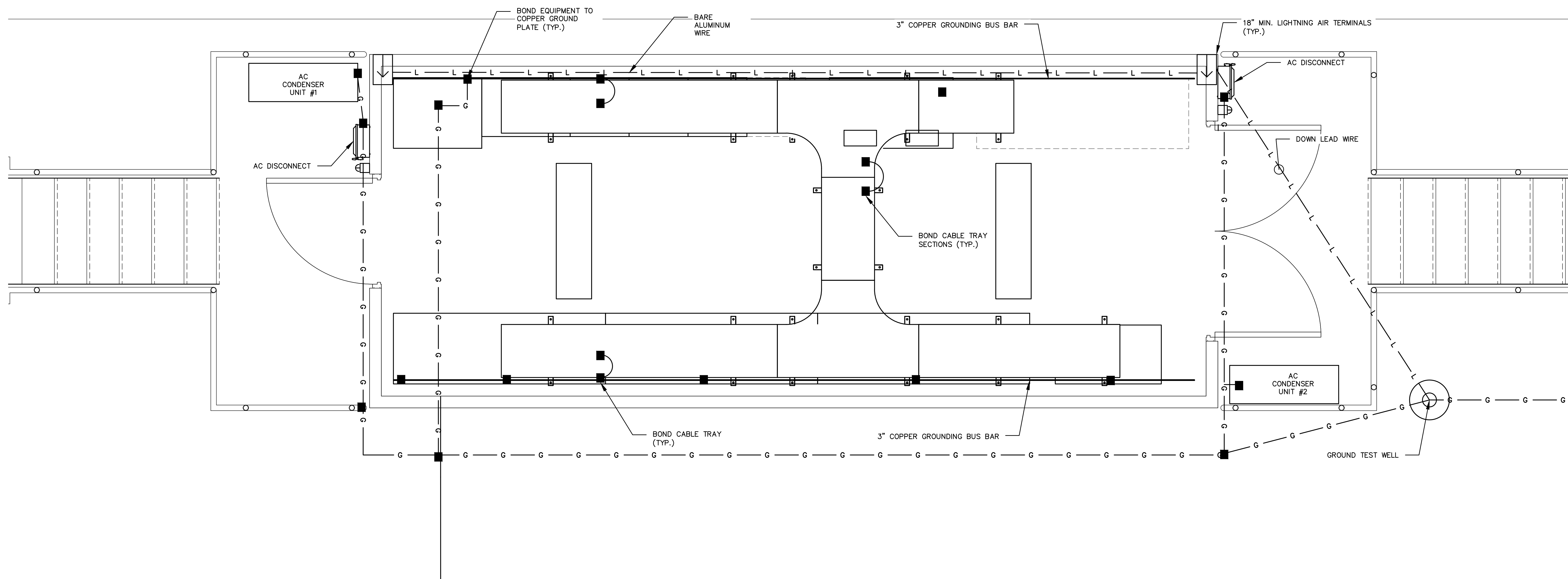
LIFT STATION 1M ELECTRICAL REHABILITATION

ELECTRICAL BUILDING LAYOUT

PROJ. START DATE: 2020 JUN	SCALE: 1"=1'-0"	E1.05 DRAWING NUMBER
MCE PROJ. # 01024-0180	HORIZONTAL: 1"=1'-0"	
DRAWN: JG	VERTICAL: TBD	REVISION
DESIGNED: SS	PERMIT SET	
CHECKED: MAC	NOT FOR CONSTRUCTION	
PROJ. MGR. AAH	STATUS: NOT FOR CONSTRUCTION	



NORTH
0 1 2
SCALE: 3/4" = 1'-0"



GROUNDING AND LIGHTNING PROTECTION PLAN
SCALE: 3/4"=1'-0"

REV. NO.	DESCRIPTION	DATE

REVISIONS

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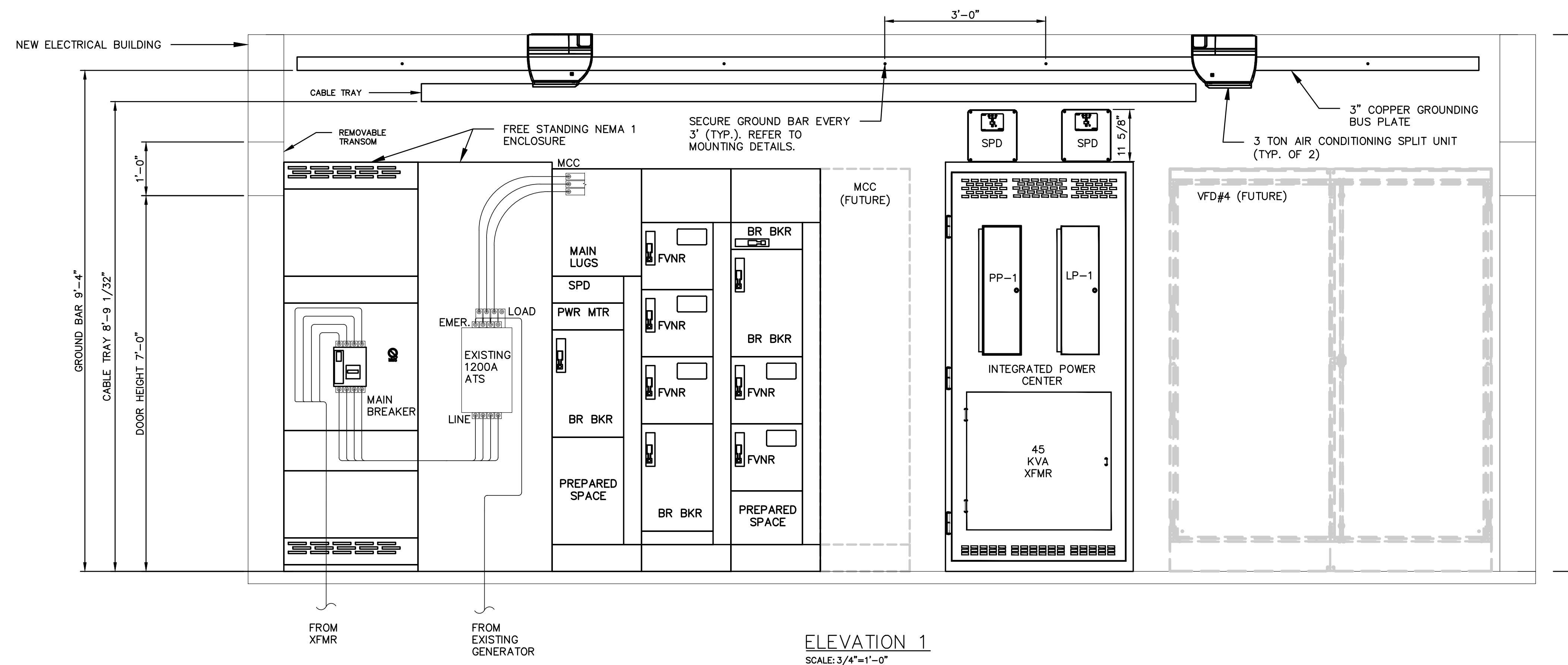
**LIFT STATION 1M ELECTRICAL
REHABILITATION**

**ELECTRICAL
GROUNDING AND LIGHTNING
PROTECTION PLAN**

PROJ. START DATE: 2020 JUN
MCE PROJ. # 01024-0180
DRAWN JG
DESIGNED SS
CHECKED MAC
PROJ. MGR. AAH

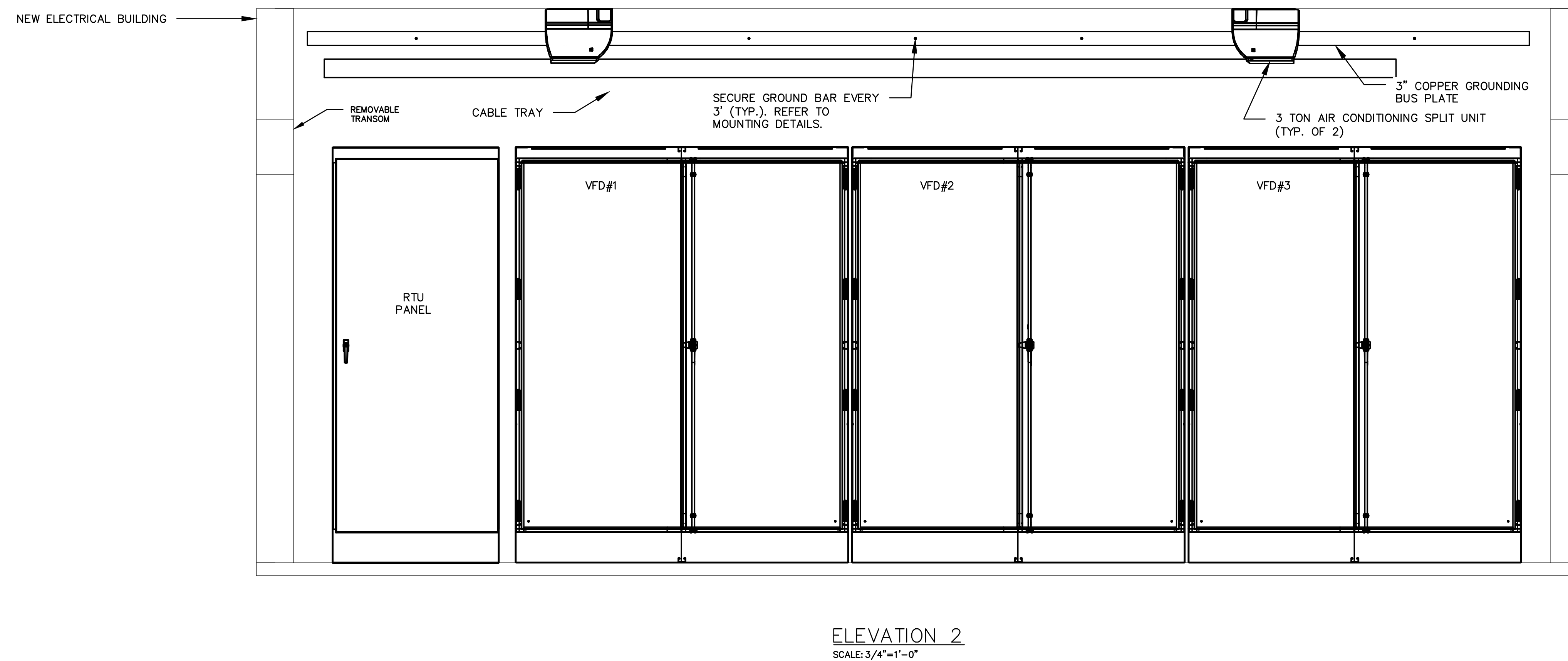
SCALE
HORIZONTAL: 3/4"=1'-0"
VERTICAL: TBD
DRAWING NUMBER
E1.06
REVISION

STATUS: PERMIT SET
NOT FOR CONSTRUCTION



NOTES:

1. ATS TO BE MOUNTED IN THE FIELD BY UL CERTIFIED PANEL SHOP. ALL WIRING PERFORMED IN FIELD BY CONTRACTOR.



REV. NO.	DESCRIPTION	DATE

SEAL

AUBREY A. HAUDRICOURT, P.E.
No. 66861

MCKIM & CREED

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Clearwater, Florida 33756
Phone: (727) 442-7196, Fax: (727) 461-3827

CA Lic. No. 29588
www.mckimcreed.com



LIFT STATION 1M ELECTRICAL REHABILITATION

ELECTRICAL

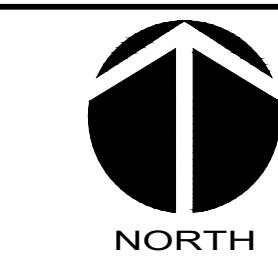
MCB, ATS AND MCC ELEVATION

PROJ. START DATE: 2020 JUN
MCE PROJ. # 01024-0180
DRAWN JG
DESIGNED SS
CHECKED MAC
PROJ. MGR. AAH

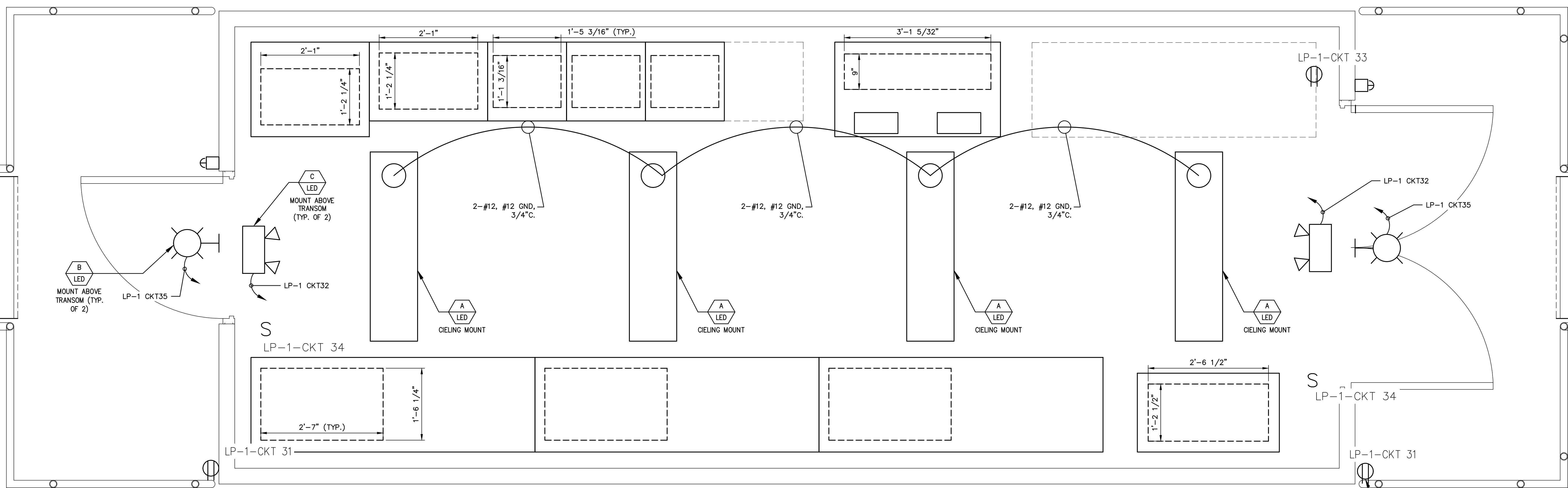
SCALE
HORIZONTAL: TBD
VERTICAL: TBD

E1.07
DRAWING NUMBER
REVISION

STATUS: **PERMIT SET**
NOT FOR CONSTRUCTION



SCALE: 1" = 1'-0"



GFCI IN WEATHERPROOF ENCLOSURE WITH INUSE COVER (TYP.)

LIGHTING SCHEDULE

LETTER	DESCRIPTION	LAMPS	REMARKS	SYMBOL
A	4' SURFACE MOUNT LED LUMINAIRE. ROLLED STEEL HOUSING. IMPACT MODIFIED LINEAR FACETED REFRACTOR. INTEGRAL OCCUPANCY SENSOR.	LED MIN CRI 82, L90/60,000HRS, 39W, 4000K	LITHONIA LIGHTING MOD. WL4-40L-LP840-NES7-SC OR APPROVED EQUAL.	
B	LED OUTDOOR RATED WALL PACK, TYPE II/WIDE DISTRIBUTION. INTEGRAL BALLAST & PHOTOCELL. FULL CUTOFF. DARK BRONZE.	20 LED 73W 4000K	LITHONIA LIGHTING DSXW2 LED, LSI INDUSTRIES XGBWM3, OR APPROVED ALTERNATE	
C	WALL MOUNT EMERGENCY EXIT LIGHT W/SIGN. INJECTION-MOLDED, FLAME-RETARDANT, HIGH-IMPACT, THERMOPLASTIC HOUSING. BATTERY BACKUP. TEST SWITCH FOR MANUAL ACTIVATION OF 30-SECOND DIAGNOSTIC TESTING. SELF DIAGNOSTIC TESTING EVERY 30 DAYS.	LED, RED LENS <1W, 120V	LITHONIA LIGHTING MOD. LHQM OR APPROVED EQUAL	
D	LED, CLASS 1, DIV 2 RATED, EXPLOSION PROOF FIXTURE WITH DOME REFLECTOR AND GLOBE GUARD.	LED, 40W, 120V.	KILLARK MODEL NO. EMLC-50-30 OR APPROVED EQUAL. WALL MOUNT AND CEILING MOUNT AS NECESSARY.	

LIGHTING PLAN
SCALE: 1"=1'-0"

REV. NO.	DESCRIPTION	DATE

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LIFT STATION 1M ELECTRICAL REHABILITATION
ELECTRICAL LIGHTING PLAN

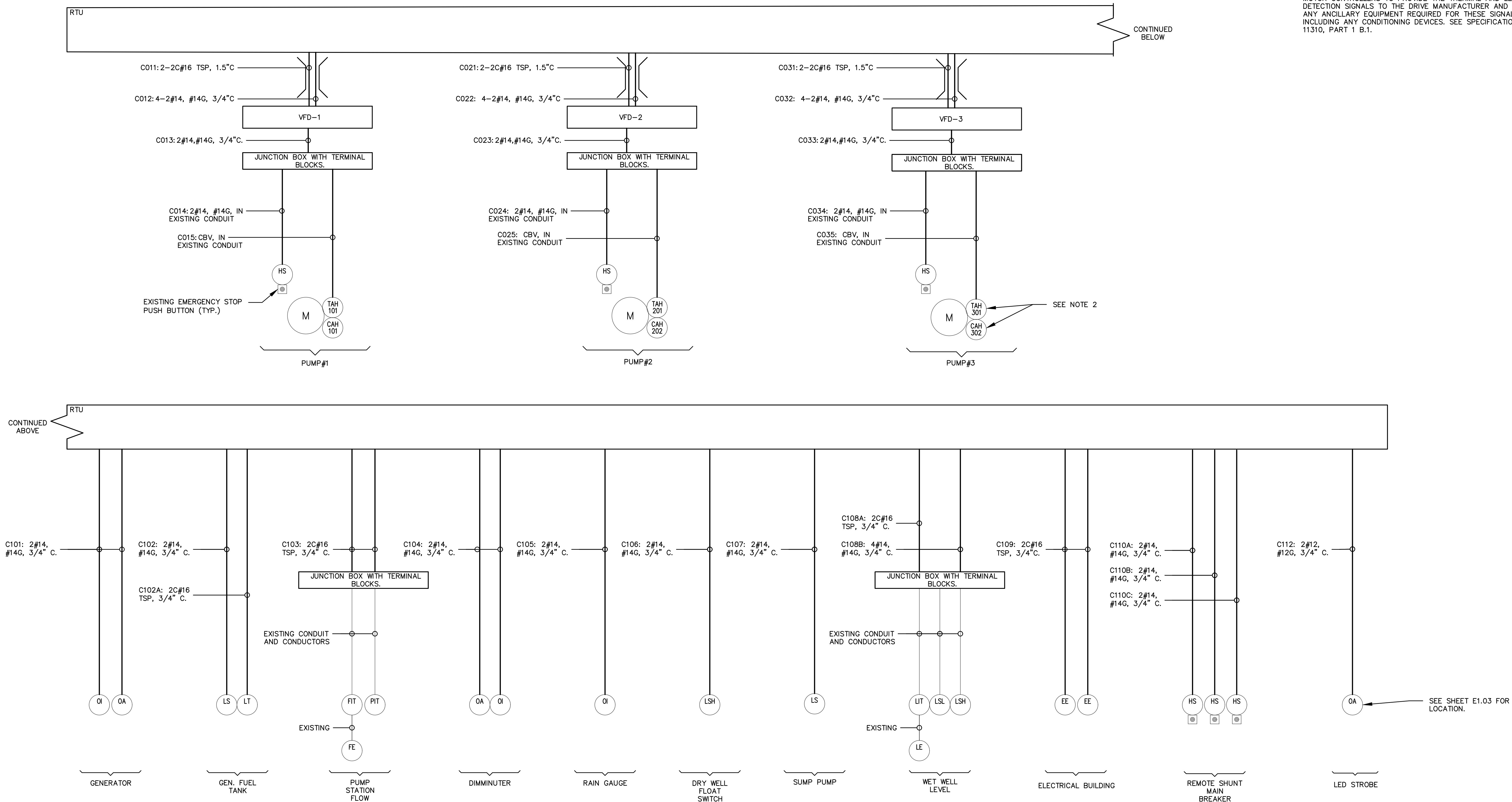
PROJ. START DATE: 2020 JUN
MCE PROJ. # 01024-0180
DRAWN JG
DESIGNED SS
CHECKED MAC
PROJ. MGR. AAH

SCALE: HORIZONTAL: 1"=1'-0" VERTICAL: TBD

STATUS: PERMIT SET
NOT FOR CONSTRUCTION

E1.08
DRAWING NUMBER
REVISION

- NOTES:
1. SURGE PROTECTION DEVICES REQUIRED, THOUGH GENERALLY NOT SHOWN. REFER TO I-SHEETS AND CONTRACT SPECIFICATIONS FOR REQUIREMENTS.
 2. COORDINATE WITH THE PROVIDER OF THE VARIABLE FREQUENCY MOTOR CONTROLLERS TO PROVIDE THE THERMAL AND LEAK DETECTION SIGNALS TO THE DRIVE MANUFACTURER AND SUPPLY ANY ANCILLARY EQUIPMENT REQUIRED FOR THESE SIGNALS, INCLUDING ANY CONDITIONING DEVICES. SEE SPECIFICATIONS 11310, PART 1 B.1.



ELECTRICAL INTERCONNECTION DIAGRAM
SCALE: NTS

REV. NO.	DESCRIPTION	DATE

REVISIONS

SEAL

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**LIFT STATION 1M ELECTRICAL
REHABILITATION**

ELECTRICAL
ELECTRICAL INTERCONNECTION DIAGRAM

PROJ. START DATE: 2020 JUN	SCALE: E1.09
MCE PROJ. # 01024-0180	HORIZONTAL: TBD
DRAWN: JG	VERTICAL: TBD
DESIGNED: SS	
CHECKED: MAC	
PROJ. MGR: AAH	

**PERMIT SET
NOT FOR CONSTRUCTION**

CKT NO.	TRIP AMPS	DESCRIPTION OF LOAD	LOAD KVA	AMPS	POLES	KVA PER PHASE			POLES	AMPS	LOAD KVA	DESCRIPTION OF LOAD	TRIP AMPS	CKT NO.
						A	B	C						
1	30	HOIST DRYWELL	5.5	22.9	2	7.3			3	6.5	1.8	ODOR CONTROL	20	2
			5.5				7.3			1.8				
5	30	HOIST UPSTAIRS	5.5	22.9	2			7.3		1.8				
			5.5			15.5			3	36.1	10	30KVA EXISTNG GENERATOR TRANSFORMER	50	8
9	20	DIMMINUTER	0.4667	1.7	3			10.5		10	10			
			0.4667					10.5		10				
			0.4667			15.5			3	54.1	15	45KVA TRANSFORMER	70	14
15	20	SPARE			3			15.0		15	15			
								15.0		15	15			
						0.0			3			SURGE PROTECTION DEVICE	20	20
21	30	SPARE			3			0.0						
								0.0				SPARE	30	26
27	30	SPARE			3			0.0						
								0.0				SPARE	20	32
33		SPACE			3			0.0						
								0.0				SPACE		36
39		SPACE			2			0.0						40
								0.0				SPACE		40
PANEL PP-1 LOCATION MANATEE COUNTY BUILDING ELECTRICAL BUILDING NOTES: INTEGRATED PANELBOARD			TOTAL KVA			38.3	32.8	32.8	SERVICE CHARACTERISTICS			225	A MLO	
			GRAND CONNECTED TOTAL KVA			103.8			VOLTS: 480			0	A MCB	
									PHASE: 3					
									WIRE: 3					
									10K MIN AIC SYMM, FULLY RATED ASSEMBLY					

PANEL SCHEDULE PP-1
SCALE: NTS

CKT NO.	TRIP AMPS	DESCRIPTION OF LOAD	LOAD KVA	AMPS	POLES	KVA PER PHASE			POLES	AMPS	LOAD KVA	DESCRIPTION OF LOAD	TRIP AMPS	CKT NO.
						A	B	C						
1	20	WEST DESK OUTLET	0.18	1.5	1	0.4			1	1.5	0.18	EMERGENCY LIGHTS	20	2
3	15	FLOW METER	0.06	0.5	1		0.1		1			SPARE	20	4
5	20	SPARE			1			1.2	1	10.0	1.2	BATHROOM LIGHT	20	6
7	30	SPARE			1	1.5			1	12.5	1.5	OUTSIDE FLOODS	20	8
9	20	E. WALL DRY LIGHTS	1.2	10.0	1		2.4		1	10.0	1.2	E. OUTLET	20	10
11	20	SUMP PUMP	1.2	10.0	1			2.2	1	8.3	1	GEN BAT CHARGER	20	12
13	20	SCUBBER			1	0.0			1			SPARE	20	14
15	20	ENTRANCE LIGHT	1	8.3	1		2.4		1	11.7	1.4	WEST DRY WELL LIGHTS	20	16
17	20	CONTROL ROOM LIGHTS E	1.4	11.7	1			1.4	1	0.1	0.01	S. WALL DIMM. OUTLET	20	18
19	20	CONTROL ROOM LIGHTS W	0.05	0.4	1	0.1			1			OUTSIDE E. WALL (SKID)	20	20
21	20	SPARE			1		1.8		3	15.0	1.8	3 PHASE, 20AMP, RECEP E. WALL	20	22
23	20	SPARE			1			1.8			1.8			
25	30	UPS/GFI RECEPITCLE	2.5	20.8	1	4.3					1.8			
27	20	DAY TANK(FUEL)	1.5	12.5	1		2.7		1	10.0	1.2	CONTROL RM. EX.FAN	20	28
29	20	WET WELL LIGHTS	1.2	10.0	1			2.5	1	10.8	1.3	FUTURE EX. FAN CR.	20	30
31	20	ELEC. BUILDING RECEPTACLES OUTSIDE	0.36	3.0	1	0.5			1	1.5	0.18	ELEC. BUILDING EMERG. EXIT LIGHT	20	32
33	20	ELEC. BUILDING RECEPTACLES INSIDE	0.72	6.0	1		1.5		1	6.7	0.8	ELEC. BUILDING LIGHTING INSIDE	20	34
35	20	ELEC. BUILDING OUTSIDE WALL PACKS	0.5	4.2	1			2.1	2	15.4	1.6	ELEC. BUILDING AC OUTDOOR UNIT #1	25	36
37	15	ELEC. BUILDING AC INDOOR UNIT #1	0.1	1.0	2	1.7					1.6			
			0.1				0.1		2			ELEC. BUILDING AC OUTDOOR UNIT #2	25	40
41	15	ELEC. BUILDING AC INDOOR UNIT #2	0.1	1.0	2			0.1						
			0.1					0.1	1			SPARE	20	44
45	20	SURGE PROTECTION DEVICE	0.1	0.5	2		0.1		1			SPARE	20	46
								0.1	1			SPARE	20	48
49	20	SPARE			1	0.0			1			SPARE		50
51	20	SPARE			1		0.0		1			SPARE		52
PANEL LP-1 LOCATION MANATEE COUNTY BUILDING ELECTRICAL BUILDING NOTES: INTEGRATED PANELBOARD			TOTAL KVA			8.6	11.0	11.4	SERVICE CHARACTERISTICS			208Y/120	A MLO	
			GRAND CONNECTED TOTAL KVA			30.9			VOLTS: 208Y/120			150	A MCB	
									PHASE: 3					
									WIRE: 4					
									10K MIN AIC SYMM, FULLY RATED ASSEMBLY					

PANEL SCHEDULE LP-1
SCALE: NTS

REV NO.	DESCRIPTION	DATE

SEAL

AUBREY A. HAUDRICOURT, P.E.
No. 68861



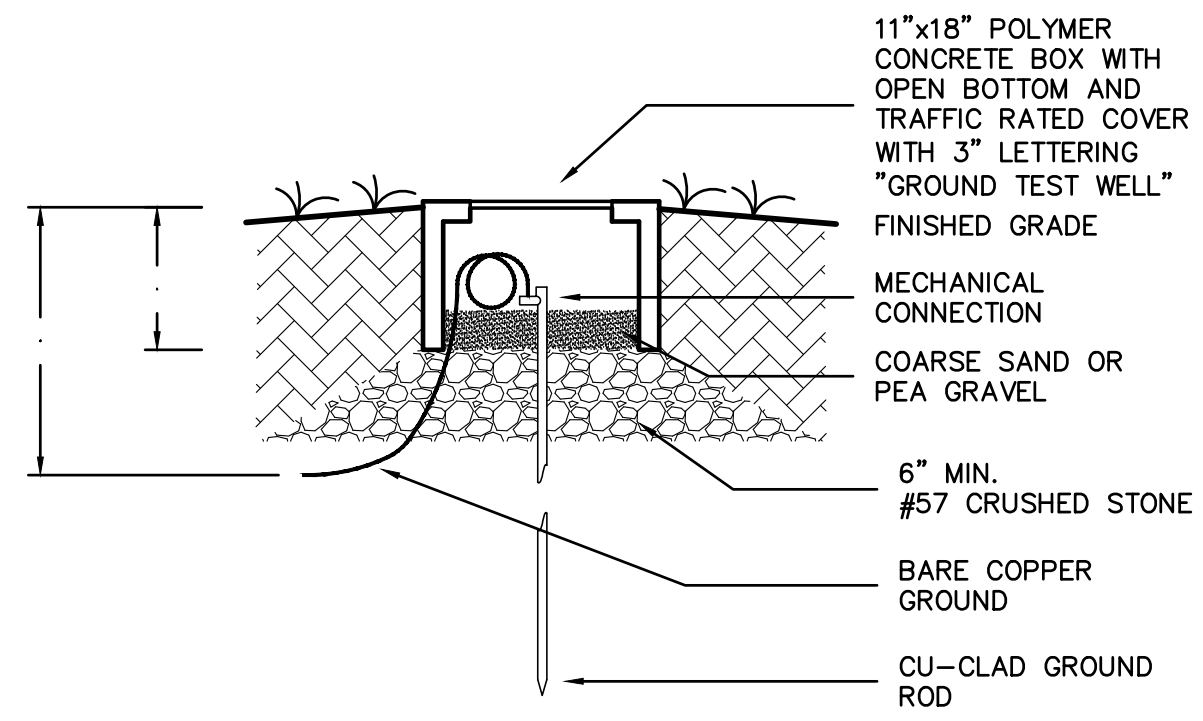
LIFT STATION 1M ELECTRICAL REHABILITATION

ELECTRICAL PANEL BOARD SCHEDULES

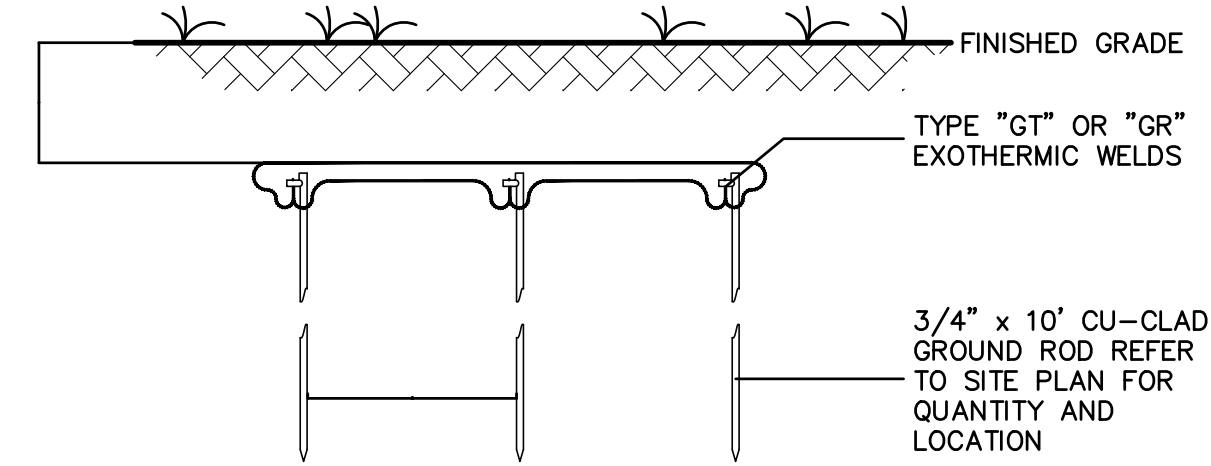
PROJ. START DATE: 2020 JUN	SCALE:	E1.10 DRAWING NUMBER
MCE PROJ. # 01024-0180	HORIZONTAL: TBD	
DRAWN: JG	VERTICAL: TBD	
DESIGNED: SS	TBD	
CHECKED: MAC	REVISION: ----	
PROJ. MGR. AAH		
STATUS: PERMIT SET		
NOT FOR CONSTRUCTION		

NOTES:

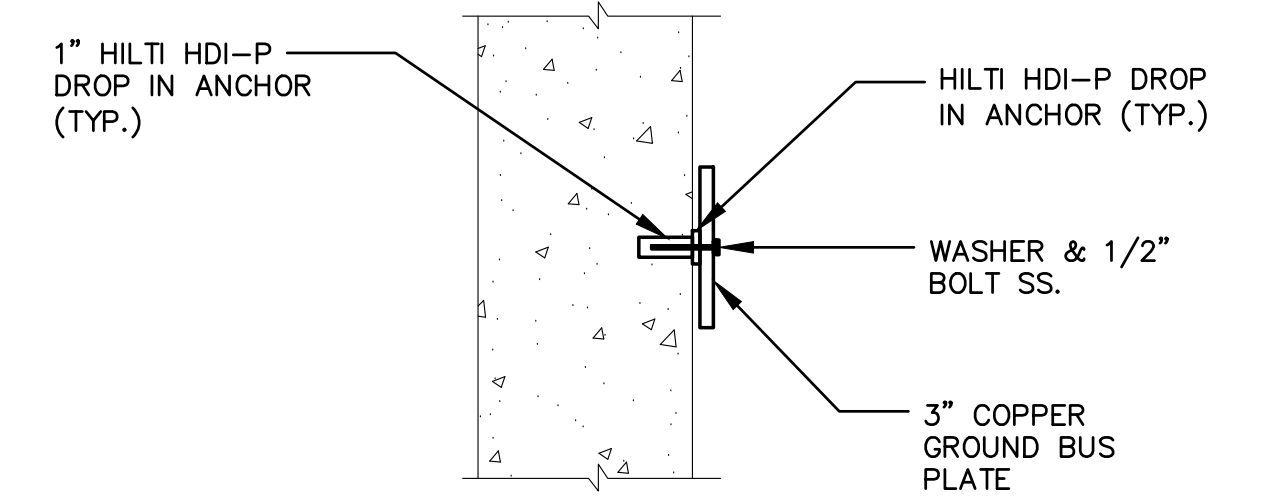
1. MINIMUM WIRE SIZE FOR ALL POWER CIRCUITS IS #12AWG CU UNLESS OTHERWISE NOTED.
2. MINIMUM CONDUIT SIZE IS 3/4" TRADE SIZE.
3. SWAB CLEAN EXISTING CONDUITS PRIOR TO PULLING NEW CIRCUITS.
4. FOR LOW VOLTAGE DUCTBANKS MINIMUM SEPARATION BETWEEN CONDUITS SHALL BE 2".



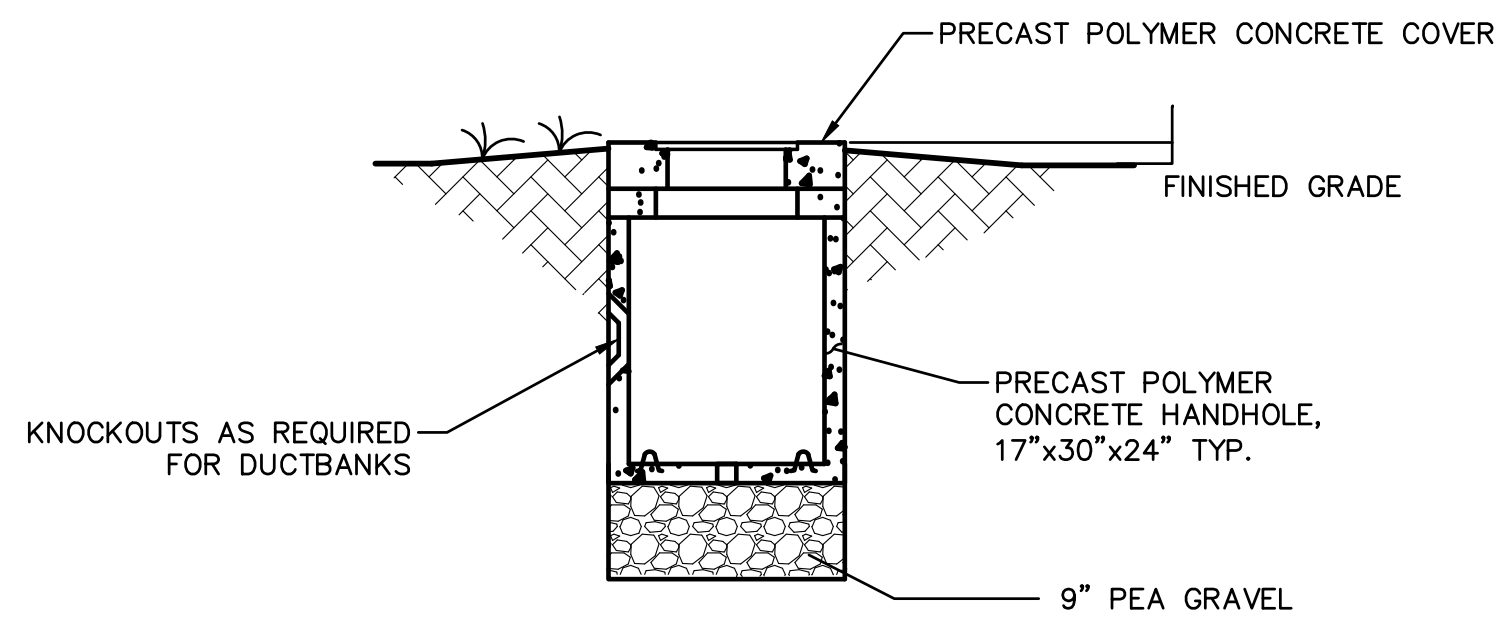
GROUND ROD TEST WELL
SCALE: NTS



BELOW GRADE GROUND ROD/CABLE CONNECTION DETAIL
SCALE: NTS



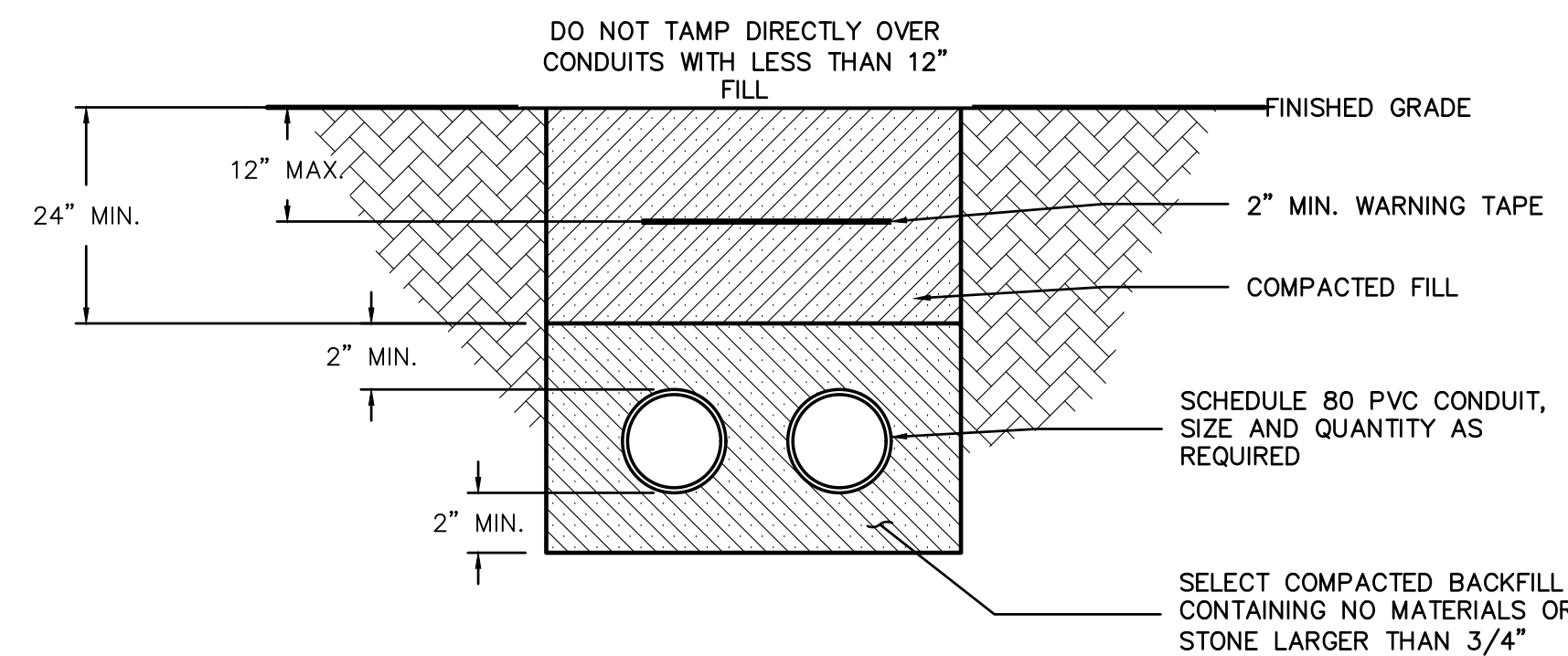
COPPER GROUND BUS PLATE MOUNTING DETAIL
SCALE: NTS



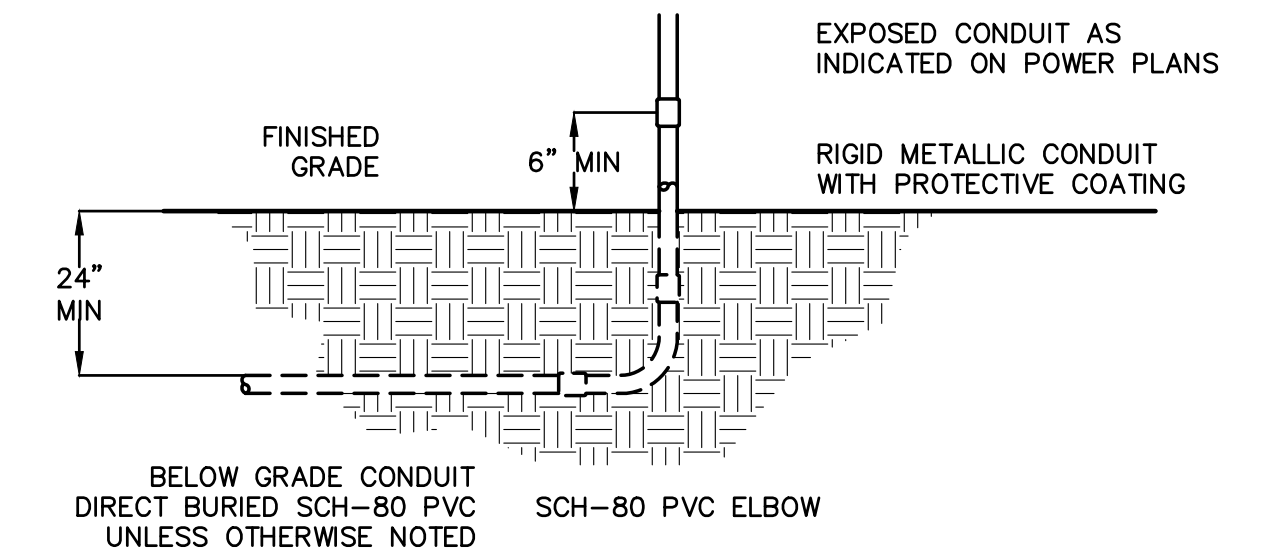
SMALL HANDHOLE NOTES:

1. PROVIDE PRODUCTS OF ONE OF THE FOLLOWING:
 - A. STRONGWELL QUAZITE
 - B. OLD CASTLE
 - C. OR APPROVED EQUAL
2. MATERIAL: PRECAST POLYMER CONCRETE.
3. DUCT ENTRANCES SIZED AND LOCATED TO SUIT DUCTBANKS.
4. ENCLOSURES AND COVERS SHALL BE UL-LISTED.
5. ENCLOSURES, BOXES, AND COVERS SHALL COMPLY WITH TEST PROVISIONS OF ANSI/SCTE 77 FOR TIER 15 & 22 APPLICATIONS.
6. COVERS SHALL HAVE COEFFICIENT OF FRICTION OF NOT LESS THAN 0.50, IN ACCORDANCE WITH ASTM C1028.

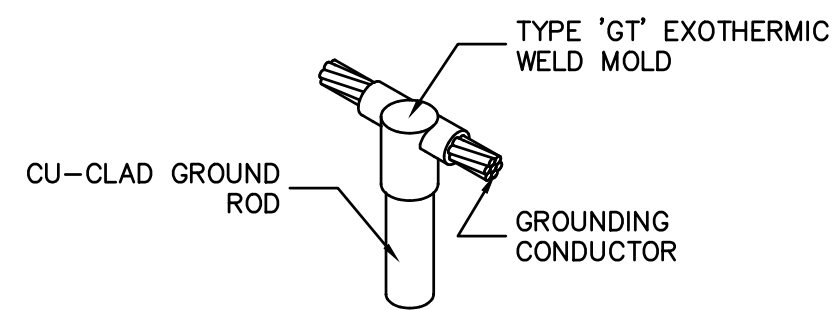
SMALL HANDHOLE DETAIL
SCALE: N.T.S.



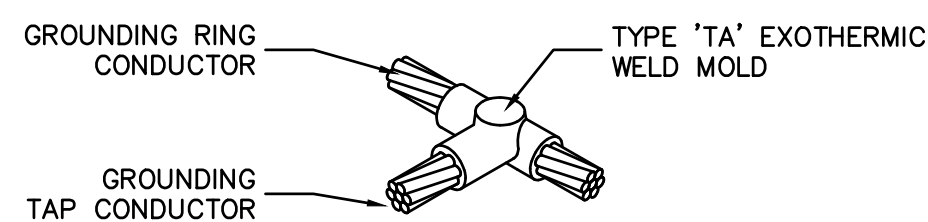
DIRECT BURIED DUCTBANK
SCALE: NTS



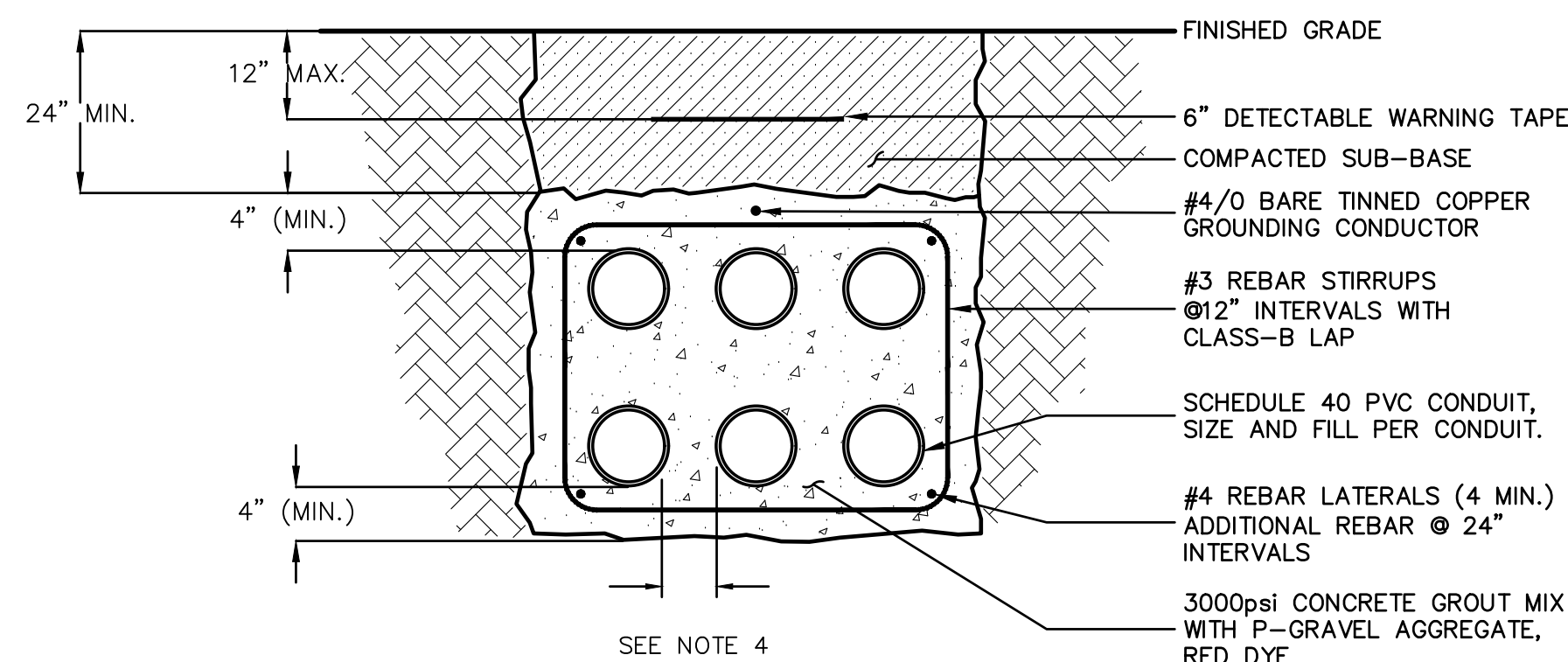
CONDUIT TRANSITION DETAIL
SCALE: NTS



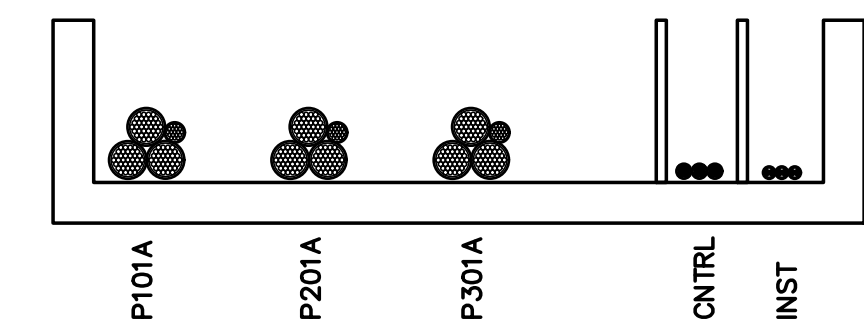
EXOTHERMIC WELD 'GT' CONNECTION
SCALE: NTS



EXOTHERMIC WELD 'TA' CONNECTION
SCALE: NTS



REINFORCED CONCRETE DUCTBANK
SCALE: NTS



1
E1.04E1.11

SECTION 1
NTS

REV. NO.	DESCRIPTION	DATE

SEAL

AUBREY A. HAUDRICOURT, P.E.
No. 66861

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Manatee County
FLORIDA

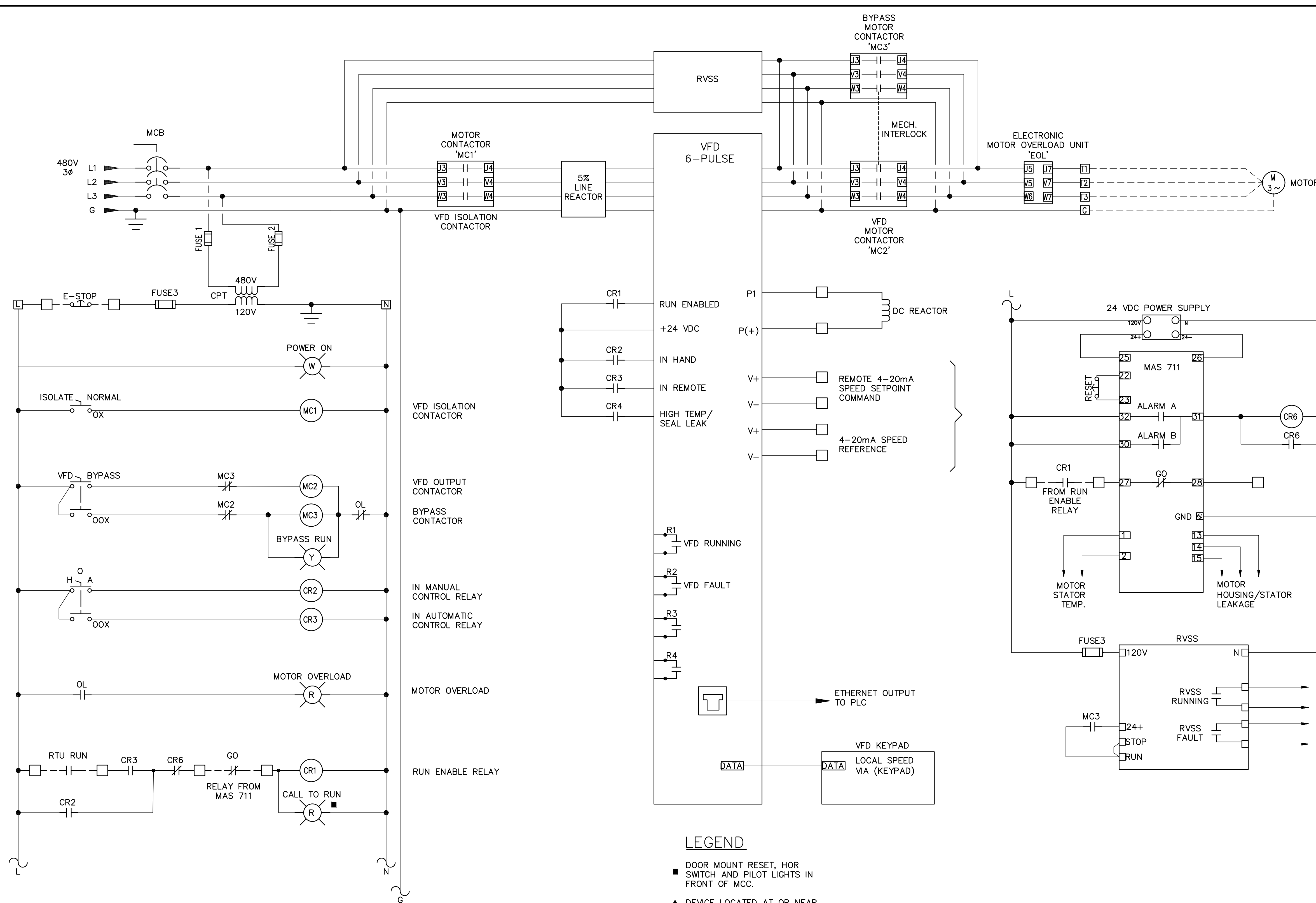
**LIFT STATION 1M ELECTRICAL
REHABILITATION**

ELECTRICAL
DETAILS

PROJ. START DATE: 2020 JUN
MCE PROJ. # 01024-0180
DRAWN JG
DESIGNED SS
CHECKED MAC
PROJ. MGR. AAH

SCALE: E1.11
HORIZONTAL: TBD
VERTICAL: TBD

PERMIT SET
NOT FOR CONSTRUCTION

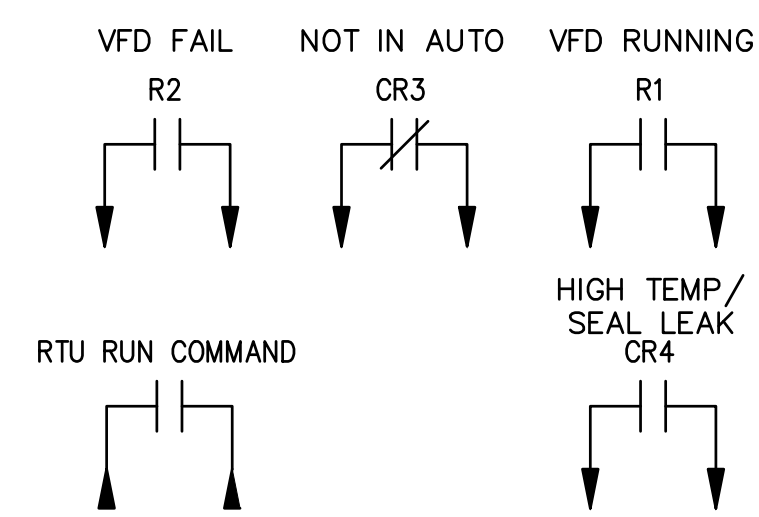


NOTES:
 1. SCHEMATIC SHOWN IS MINIMUM REQUIREMENTS AND BASED OFF OF BASIS OF DESIGN PUMPS. CONTRACTOR IS TO VERIFY CONTROL REQUIREMENTS AND PROVIDE ADDITIONAL CONTROL EQUIPMENT AS NEEDED FOR PUMPS SELECTED.

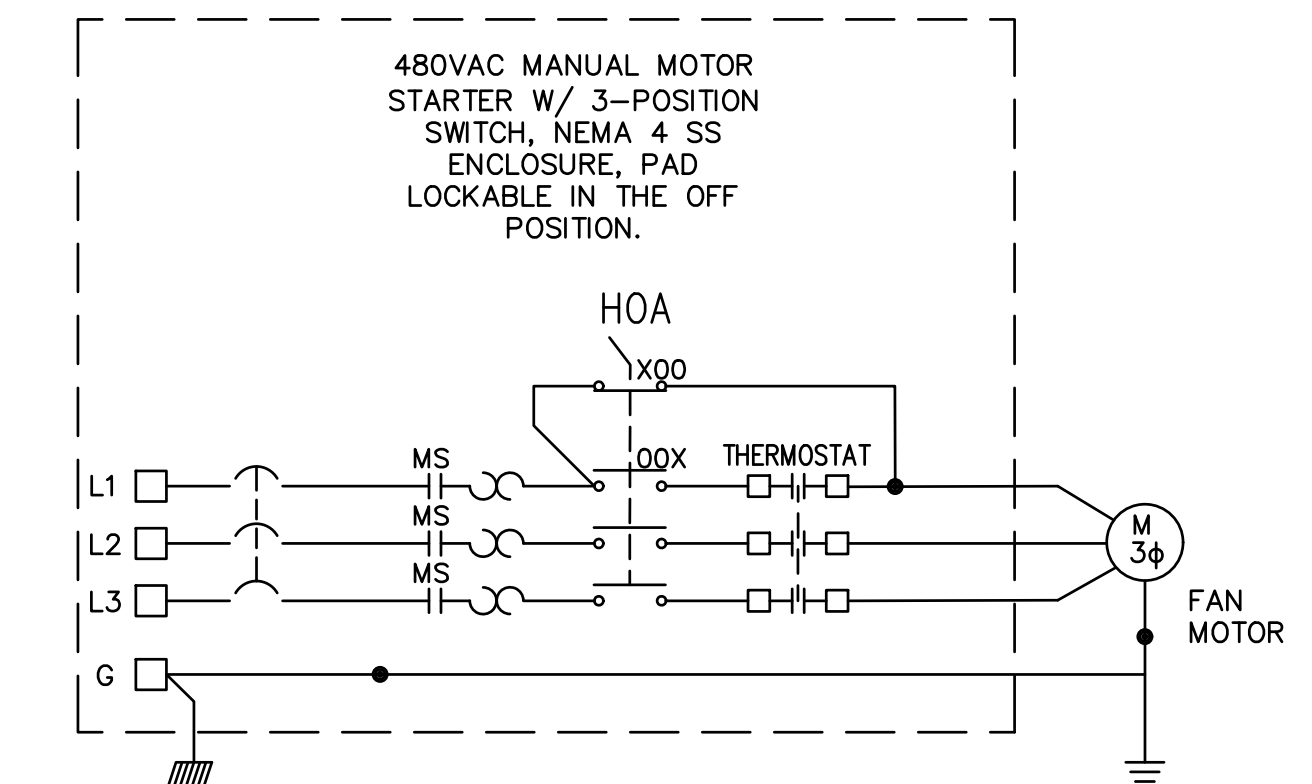
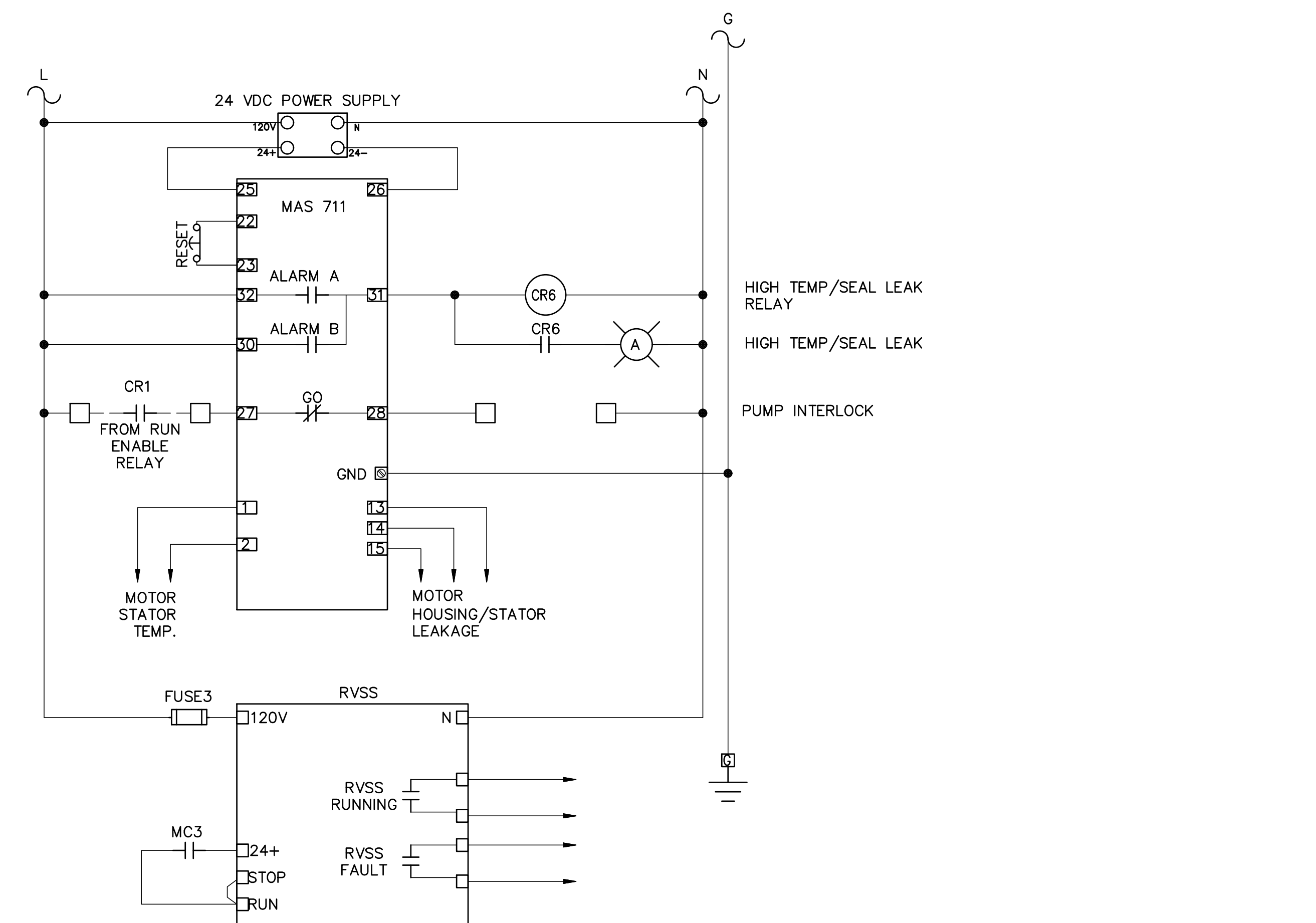
PUMP SCHEMATIC: PUMP#1, PUMP#2, PUMP#3
 SCALE: NTS

LEGEND

■ DOOR MOUNT RESET, HOR SWITCH AND PILOT LIGHTS IN FRONT OF MCC.
 ▲ DEVICE LOCATED AT OR NEAR MOTOR EQUIPMENT



ALL STATUS & CONTROL SIGNALS COMMUNICATED BETWEEN VFD AND RTU VIA ETHERNET DATA HIGHWAY.



EXHAUST FAN SCHEMATIC
 SCALE: NTS

TYPICAL FOR EXHAUST FANS

REV. NO.	DESCRIPTION	DATE

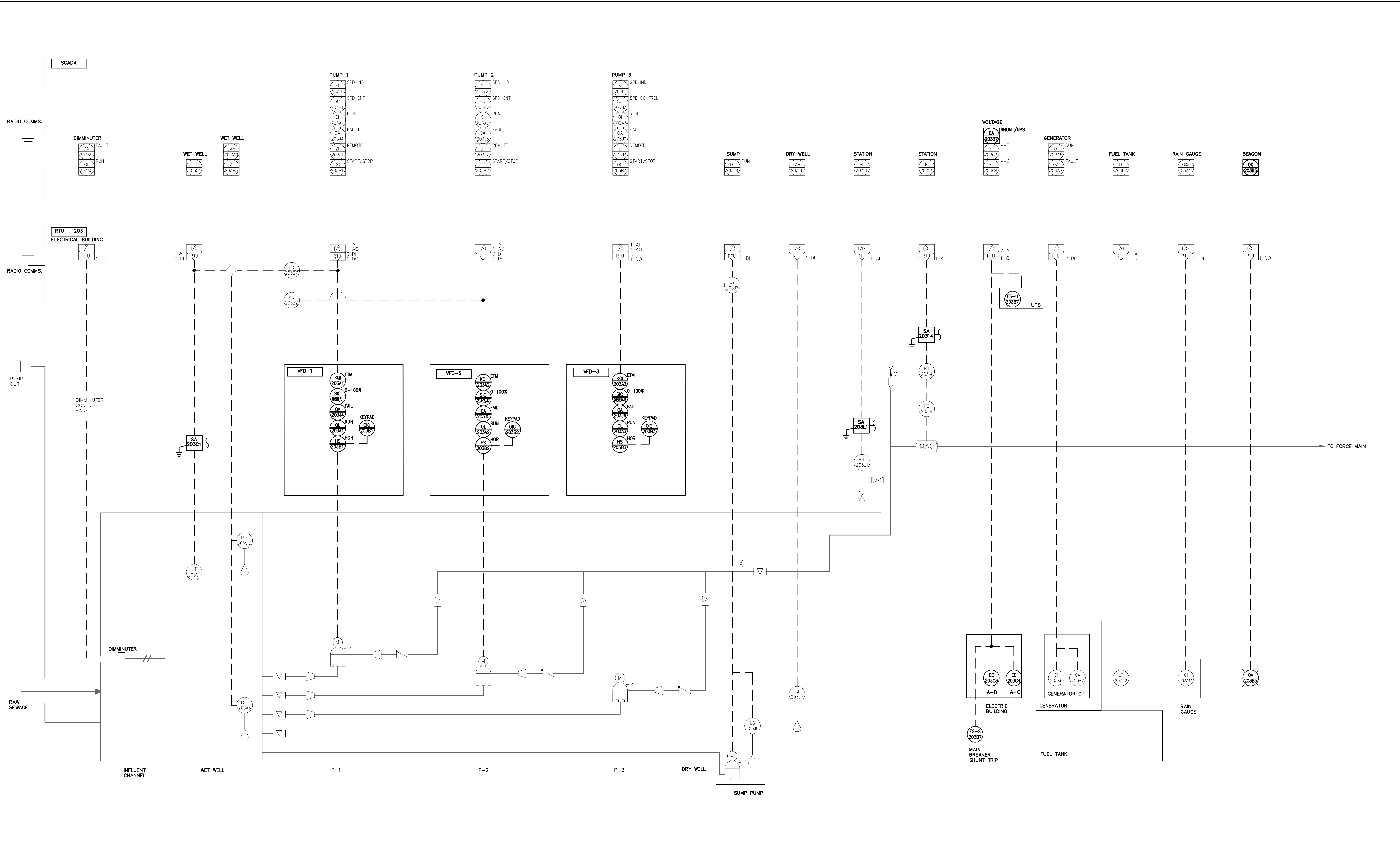
SEAL
 AUBREY A. HAUDRICOURT, P.E.
 No. 66861



LIFT STATION 1M ELECTRICAL REHABILITATION
 ELECTRICAL
ELECTRICAL CONTROLS SCHEMATICS

PROJ. START DATE: 2020 JUN	SCALE: TBD	E1.12
MCE PROJ. # 01024-0180	HORIZONTAL: TBD	
DRAWN: JG	VERTICAL: TBD	REVISION: ----
DESIGNED: XXX		
CHECKED: AAH		
PROJ. MGR: AAH		

STATUS: **PERMIT SET**
NOT FOR CONSTRUCTION



REV. NO.	DESCRIPTION	DATE

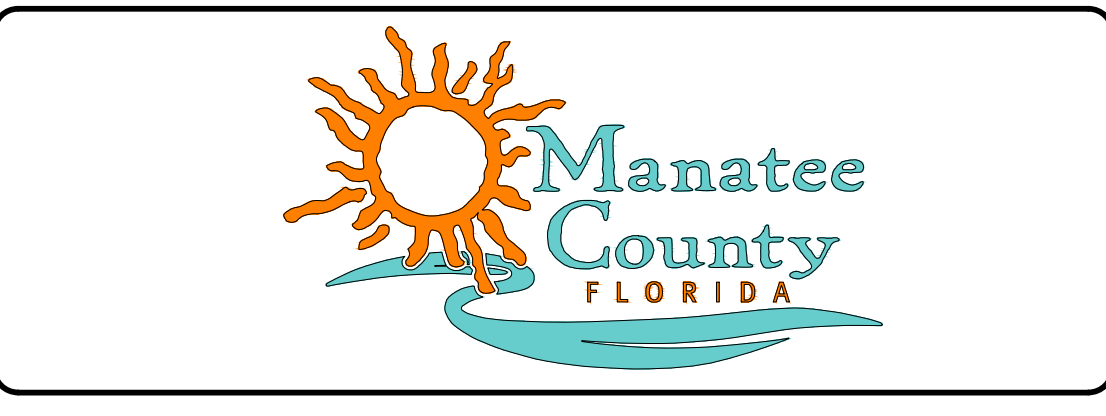
REVISIONS

SEAL

MICHAEL FADINI, P.E.
No. 87173

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LIFT STATION 1M ELECTRICAL REHABILITATION

INSTRUMENTATION

PROCESS AND INSTRUMENT DIAGRAM

PROJ. START DATE: 2020 JUN	SCALE: 11.00
MCE PROJ. # 01024-0180	HORIZONTAL: TBD
DRAWN JG	VERTICAL: TBD
DESIGNED MF	REVISION: ----
CHECKED MAC	
PROJ. MGR. AAH	

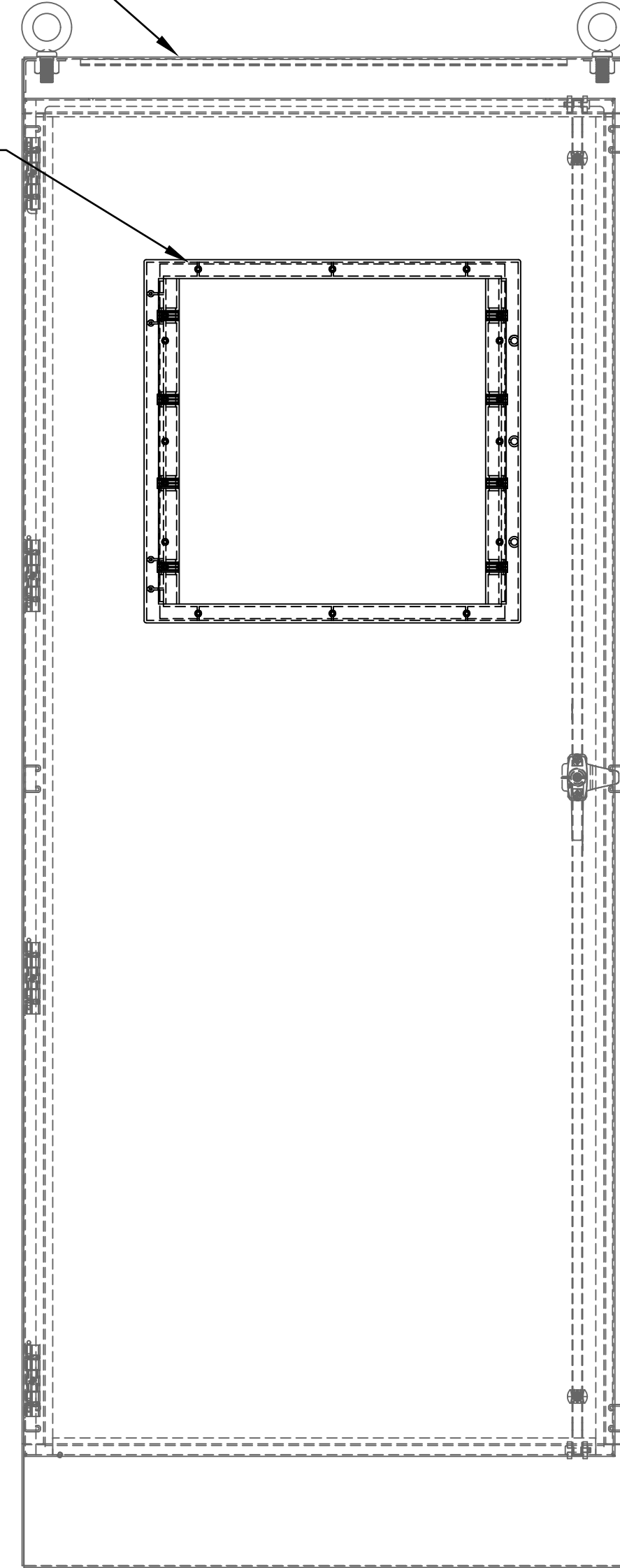
STATUS: **PERMIT SET**
NOT FOR CONSTRUCTION

NOTES:

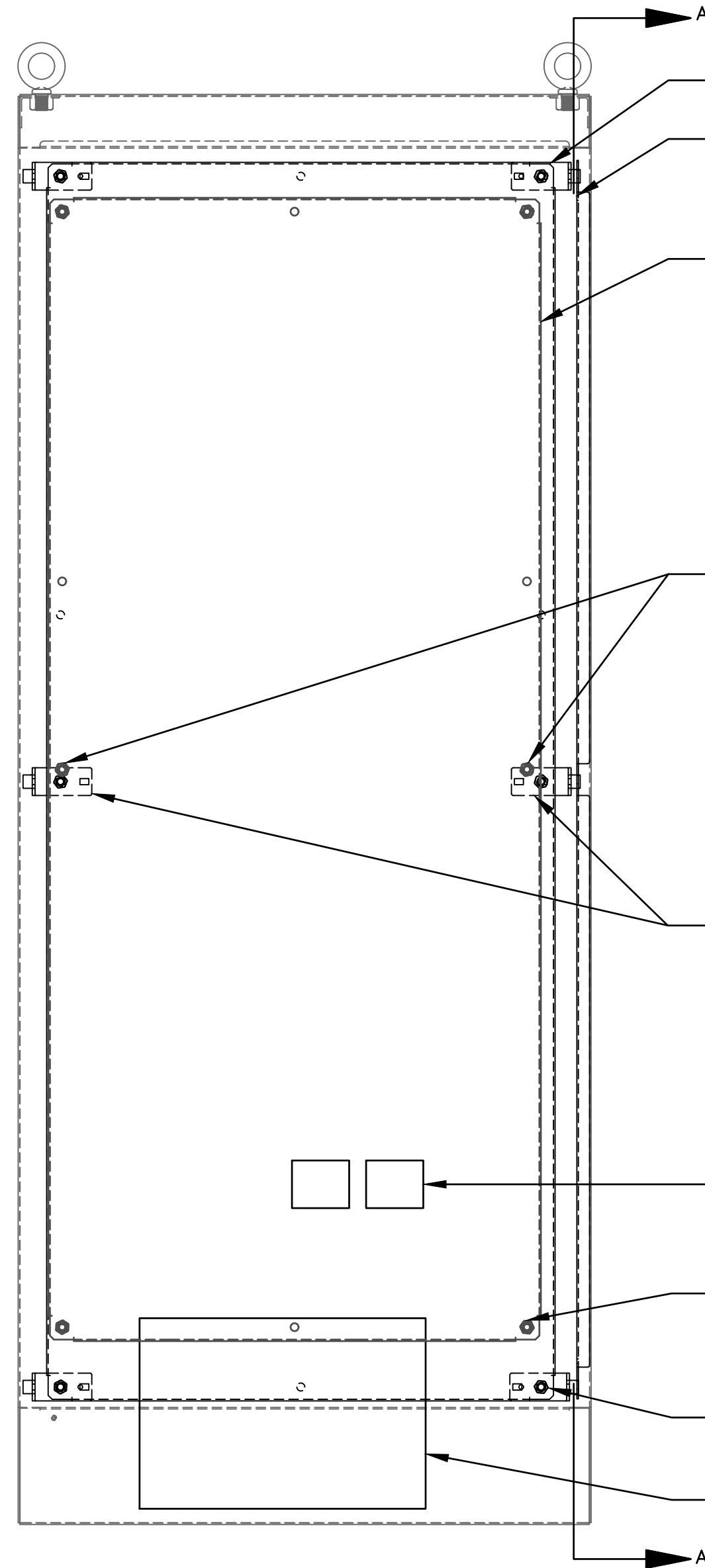
1. LOCATE WINDOW IN POSITION WHICH ALLOWS DFS-RTU TO BE VISIBLE WITHOUT OPENING THE PANEL DOOR
2. SUBPANEL LAYOUT AND SCHEMATIC ARE DIAGRAMMATIC TO CONVEY MINIMUM REQUIREMENTS FOR FABRICATION AND INSTALLATION.
3. NEW SHUNT AND UPS COMMON ALARM SHALL BE WIRED TO SPARE INPUT B7. B7 IS NORMALLY CONFIGURED FOR ALARM IS SILENCED INDICATION AND SHALL BE CHANGED IN DFS SOFTWARE.

NEW ENCLOSURE HOFFMAN#A903620FS,
NEMA 12 FREE STANDING 90"x36"x20"

HOFFMAN # CWF5557.
SEE NOTE 1.

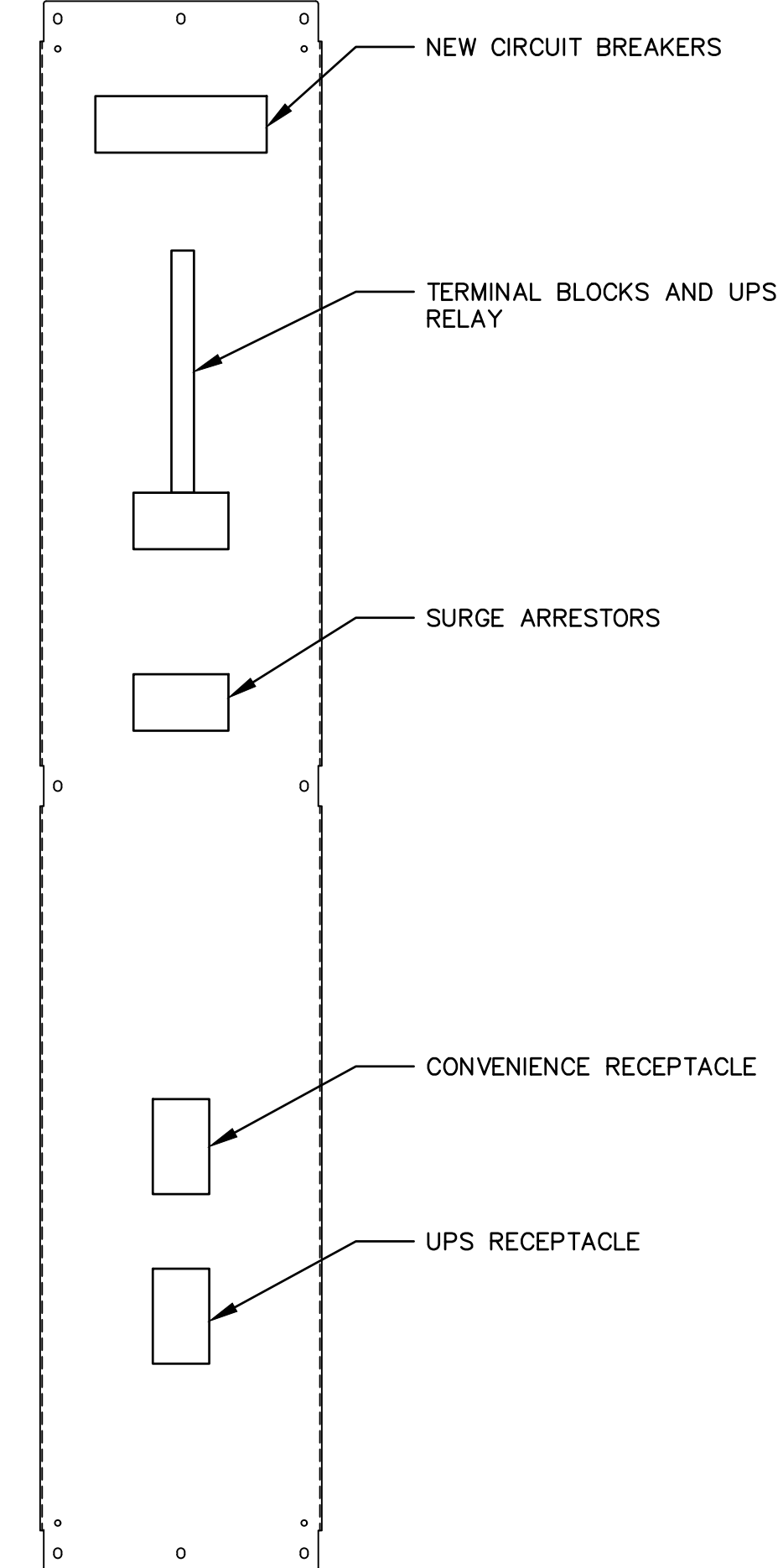


FRONT ELEVATION
SCALE: NTS

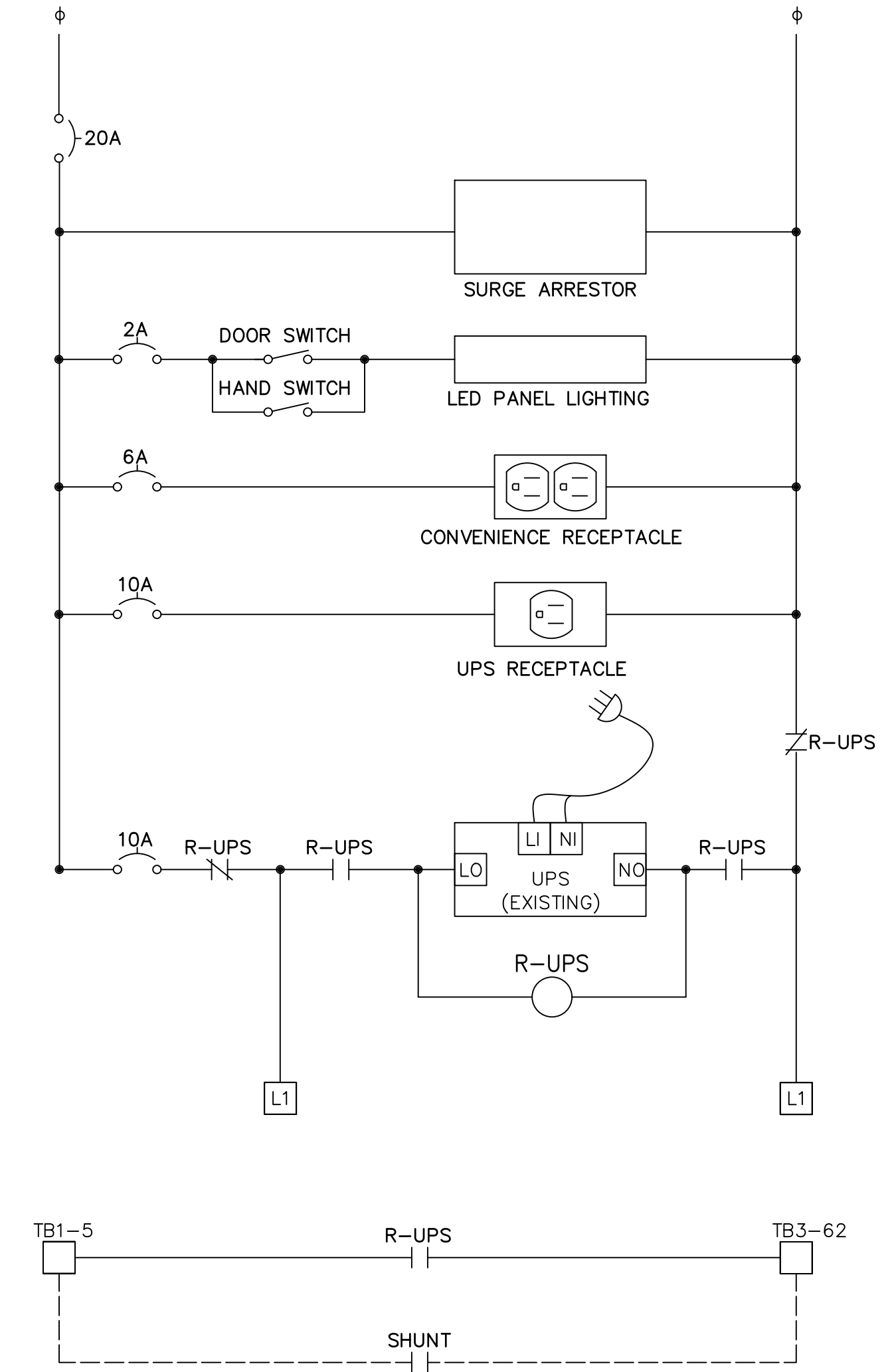


BACK PANEL
SCALE: NTS, SEE NOTE 2.

NEW BACK PANEL HOFFMAN #A90P36F1G 78"x32"
NEW SIDE PANEL HOFFMAN # A90SMP14G 78"x14"
(MOUNTED ON RIGHT SIDE)
EXISTING RTU SUBPANEL TO BE RELOCATED 72"x31"
RELOCATED RTU SUBPANEL MOUNTING HOLE, TO AVOID CONFLICT
NEW BACK PANEL MOUNTING HOLE ACCESS BLOCKED BY RELOCATED RTU SUBPANEL, PROVIDE ACCESS
RELOCATED RTU SUBPANEL MOUNTING HOLE (TYP. 6) CONNECT TO NEW SUBPANEL
NEW BACK PANEL MOUNTING HOLE (TYP.6) CONNECT TO ENCLOSURE
RELOCATED EXISTING UPS
RELOCATED RTU SUBPANEL TO BE RELOCATED 72"x31"
RELOCATED RTU SUBPANEL MOUNTING HOLE, TO AVOID CONFLICT
NEW BACK PANEL MOUNTING HOLE ACCESS BLOCKED BY RELOCATED RTU SUBPANEL, PROVIDE ACCESS
RELOCATED RTU SUBPANEL MOUNTING HOLE (TYP. 6) CONNECT TO NEW SUBPANEL
NEW BACK PANEL MOUNTING HOLE (TYP.6) CONNECT TO ENCLOSURE
RELOCATED EXISTING UPS
RELOCATED RTU SUBPANEL TO BE RELOCATED 72"x31"
RELOCATED RTU SUBPANEL MOUNTING HOLE, TO AVOID CONFLICT
NEW BACK PANEL MOUNTING HOLE ACCESS BLOCKED BY RELOCATED RTU SUBPANEL, PROVIDE ACCESS
RELOCATED RTU SUBPANEL MOUNTING HOLE (TYP. 6) CONNECT TO NEW SUBPANEL
NEW BACK PANEL MOUNTING HOLE (TYP.6) CONNECT TO ENCLOSURE
RELOCATED EXISTING UPS



SIDE PANEL ELEVATION A
SCALE: NTS, SEE NOTE 2.



CONTROL PANEL SCHEMATIC DIAGRAM
SCALE: NTS, SEE NOTE 2.

REV. NO.	DESCRIPTION	DATE

SEAL
MICHAEL FADINI, P.E.
No. 87173

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LIFT STATION 1M ELECTRICAL REHABILITATION
INSTRUMENTATION CONTROL PANEL

PROJ. START DATE: 2020 JUN	SCALE
MCE PROJ. # 01024-0180	HORIZONTAL: TBD
DRAWN JG	VERTICAL: TBD
DESIGNED MFF	TBD
CHECKED MAC	TBD
PROJ. MGR. AAH	TBD

11.01
DRAWING NUMBER
REVISION
PERMIT SET
NOT FOR CONSTRUCTION

MANATEE COUNTY GOVERNMENT

STATE OF FLORIDA

COUNTY OF MANATEE

Before the undersigned authority personally appeared **Abigail Bonds**, who on oath says that she is a **County Employee of Manatee County Government, Manatee County, Florida**; that the attached copy of advertisement, being a public notice in the matters of **Notice of Establishment or Change of a Regulation affecting the use of Land in Unincorporated Manatee County** for the **Manatee County Hearing Officer Public Hearing on April 20, 2026**, in Manatee County Florida, was published on the publicly accessible website of Manatee County Government, Manatee County, Florida, of www.mymanatee.org on **April 2, 2026**.

Affiant further says that the website complies with all legal requirements for publication in Chapter 50, Florida Statutes.

By: *Abigail Bonds*
Abigail Bonds, Planning and Zoning Tech III

Sworn to and subscribed before me this 2nd day of April, 2026, by Abigail Bonds, who is personally known to me or who has produced (type of identification) as identification.



Q. Acevedo
(Signature of Notary Public)
Quantana Acevedo
(Print Name of Notary Public)
Notary Public
(Title)

My Commission Expires: 3/6/28
Commission Number: HH 500953

NOTICE OF PUBLIC HEARING

NOTICE OF ESTABLISHMENT OR CHANGE OF A REGULATION AFFECTING THE USE OF LAND IN UNINCORPORATED MANATEE COUNTY

NOTICE IS HEREBY GIVEN, that the Hearing Officer for Manatee County, will conduct a Public Hearing on **April 20, 2026, at 3:00 p.m. at the Manatee County Government Administrative Center, Fifth Floor, Manatee Room, 1112 Manatee Avenue West, Bradenton Florida** to consider and act upon the following matters:

SP-25-02 – Casa De Milagros SP - [PLN2502-0112](#)

Approval of a Special Permit allowing the Churches/Places of Worship use on an approximately 3.79 acre site zoned Agricultural Suburban (A-1) with the Industrial Heavy (IH) Future Land Use Category (FLUC). The property is located at 2841 71st Avenue East, Sarasota (Manatee County), and is generally located south of Whitfield AVE and east of US 301; subject to voluntarily proffered conditions of approval; providing for severability and providing an effective date.

SP-25-05 – Risen Savior Campus Expansion - [PLN2504-0207](#)

Approval of a Special Permit allowing the Schools, High and Middle use within the General Agriculture (A) Zoning District as defined by the Manatee County Land Development Code (LDC), permitting said use for a proposed Preliminary Site Plan (PSP) detailing a facility consisting of one (1) existing building of approximately 16,470 square feet and one (1) proposed building of approximately 31,524 square feet for a Schools, Elementary, Schools, High and Middle, and Church/Place of Worship. The proposed site is approximately 10.0 acres of land and is zoned General Agriculture (A) and lies within the Residential-1 (RES-1) Future Land Use Category (FLUC). The property is located at the northeast intersection of 59 Cir E and Lorraine Rd, Bradenton (Manatee County), and is generally south of Rangeland Pkwy Ave and north of SR 70 E; subject to voluntarily proffered stipulations of approval; providing for severability and providing an effective date.

VA-25-09 – Manatee County Lift Station Building Variance - [PLN2510-0235](#)

Approval of a variance to the rear yard setback requirement established by the Neighborhood Commercial Medium (NC-M) Zoning District, reducing the required side yard setback from 10 feet to 3.83 feet and the required rear yard setback from 20 feet to 1.17 feet for a lift station structure, due to bona fide staff error. The site being located at 8720 Cortez Rd W, Bradenton (Manatee County), identified as Parcel ID 7500610006 and contains approximately 0.18 acres; providing for severability and an effective date.

Rules of Procedure for this public hearing are in effect pursuant to Section 312.8 of the Manatee County Land Development Code. Copies of this section of the Code are available for review at the Development Services Department, 9000 Town Center Parkway, Lakewood Ranch, FL 34205 or at mymanatee.org.

All interested parties are invited to appear at this Hearing and be heard, subject to proper rules of conduct. Additionally, any written comments filed with the Director Development Services Department will be heard and considered by the Hearing Officer and entered into the record.

Interested parties may examine the Official Zoning Atlas, the application, related documents, and may obtain assistance regarding this matter from the Manatee County Development Services Department, 9000 Town Center Parkway, Lakewood Ranch, Florida, telephone

number (941) 748-4501 ext. 6878 or email at: public.comments@mymanatee.org.

According to Florida Statutes, Section 286.0105, any person desiring to appeal any decision made by the Hearing Officer with respect to any matter considered at the Public Hearing will need a record of the proceedings, and for such purposes they may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based.

Americans with Disabilities: The Board of County Commissioners does not discriminate upon the basis of any individual's disability. Manatee County is committed to providing full access to facilities, programs, and services to all, as well as supporting the employment of qualified individuals with disabilities in its workforce in accordance with federal and state laws and regulations, including the Americans with Disabilities Acts of 1990 (ADA) and as amended ("ADAA"), and 503 and 504 of the Rehabilitation Act of 1973. Anyone requiring reasonable accommodation for this meeting as provided for in the Americans with Disabilities Act (ADA), or assistance with accessing any of these documents, should contact Carmine DeMilio, ADA Compliance Coordinator, at (941)792-4501 ext. 6016 or carmine.demilio@mymanatee.org, as least 3 business days prior to the scheduled meeting. If you are deaf/hard of hearing and require the services of an interpreter, please contact the Florida Relay Service at 711.

THE PUBLIC HEARING MAY BE CONTINUED FROM TIME-TO-TIME PENDING
ADJOURNMENTS.

MANATEE COUNTY HEARING OFFICER

Manatee County Development Services Department

Manatee County, Florida

Date of Publishing: April 2, 2026

Manatee County Lift Station Building Variance

VA-25-09 / PLN2510-0235

**Loretta Merrill, Senior Planner
Hearing Officer
April 20, 2026**



Request:

Approval of a variance to the side and rear yard setback requirements established by the Neighborhood Commercial Medium (NC-M) zoning district, reducing the required side yard setback from 10 feet to 3.83 feet and the required rear yard setback from 20 feet to 1.17 feet for a lift station structure, due to bona fide staff error.



Site Location

General Location:
Cortez Road W, west of
Palma Sola Boulevard

**Total Acreage: 0.18
acres**

Surrounding Uses:

North & west:
wetland/open space
for residential
development

East: Office building

South: Mini-Warehouse

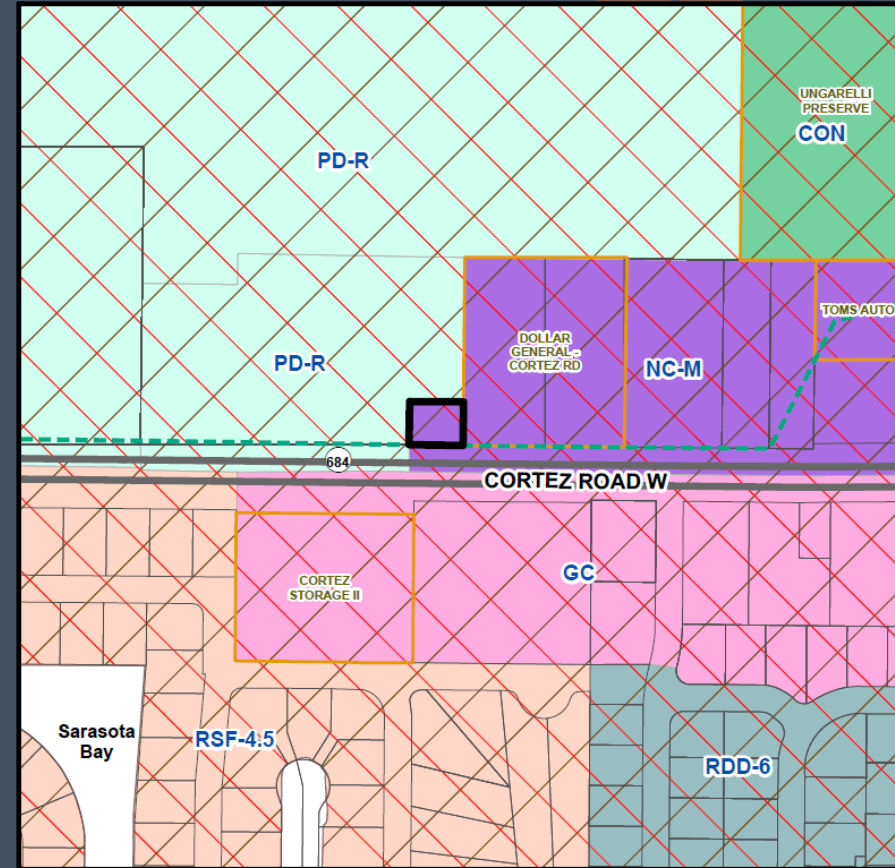


Source: Manatee County GIS

Future Land Use Category & Zoning



FLUC: Public/Semi-Public-1



Zoning: Neighborhood Commercial – Medium;

Within the Coastal High Hazard, Coastal Planning Area, and Coastal Evacuation Area Overlays

History

April 2024

**Building Permit applied
for new concrete lift
station structure**

BLD2402-0056

**Manatee County Utilities
Department and
contracted Engineer
unaware of setbacks**

August 2024

**Zoning technician
mistakenly approved
structure in the setbacks**

October 2025

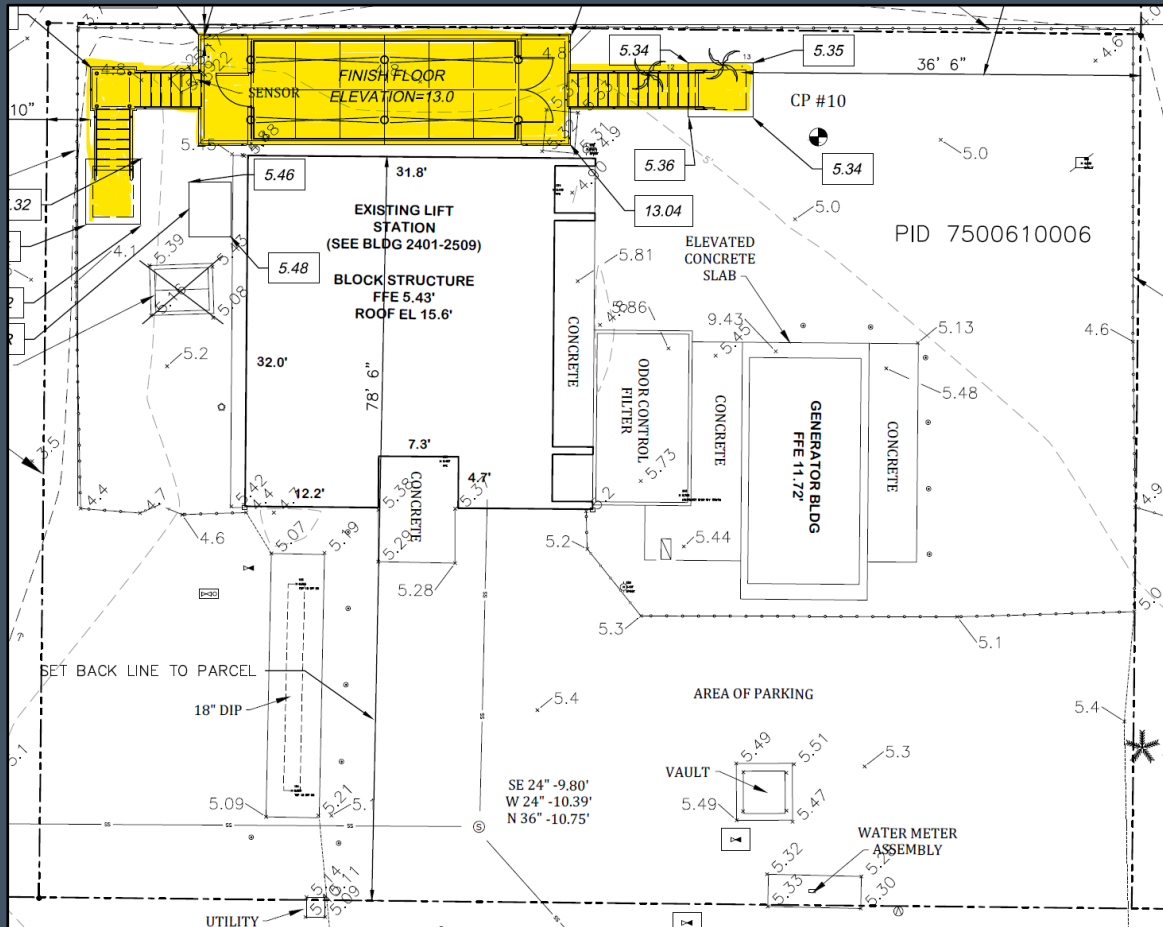
**Utilities Department
requested spot survey
condition be removed so
the permit could be closed**

**Zoning staff
identified the
structure had been
constructed within
the setbacks**

October 2025

**Variance application
applied for by
Utilities Department**

Variance Requests



1. Side yard setback reduction from 10-feet to 3.83 feet (61.7% decrease)
2. Rear yard setback reduction from 20-feet to 1.17-feet (94.15% decrease)

(Setback requirements per LDC Table 4-8 Schedule of Bulk and Dimensional Standards for Office Commercial and Mixed-Use Districts)

Site Photos



Rear Setback



Side Setback



LDC 367.5 Variance Review Criteria

All variances shall comply with the following criteria:

A. The particular physical surroundings, shape, topographical condition, or other physical or environmental condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;

Analysis: Manatee County Utilities Department staff determined that the current placement was the optimal location for this critical utilities infrastructure. Due to bona fide staff error, the structure was built within the required setbacks.

B. The conditions upon which the request for a variance is based are unique to the parcel and would not be applicable, generally, to other property within the vicinity;

Analysis: The request for variances to the required setbacks are unique to this parcel. Given the structure's location adjacent to wetlands, it has no impact on the adjacent property's use.



Continued On Next Page

LDC 367.5 Variance Review Criteria

C. The variance is not based on any conditions, including financial, occupational, or ability, which are personal to the applicant as applied to the property involved in the application;

***Analysis:* These variance requests are not based on the applicant's actions. The permit was approved due to bona fide staff error. The structure was then built based on the belief that the location met all applicable code requirements.**

D. The alleged hardship has not been created by any person presently having an interest in the property or, if it was, it was created as a result of a bona fide error;

***Analysis:* The basis for this variance request is due to bona fide staff error. A former Planning and Zoning Technician erroneously approved the building permit site plan. This resulted in the construction of the structure within the required setbacks.**



Continued On Next Page

LDC 367.5 Variance Review Criteria

E. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the vicinity;

***Analysis:* The variances requested do not create any detriment to the public welfare and do not impose any conditions that would prove injurious to any surrounding properties. Given the structure's location adjacent to wetlands, it has no impact on the adjacent property's use.**

F. The proposed variance will not substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety;

***Analysis:* The variances being requested are for a dimensional requirement and will not contribute to any substantial increase in congestion on the public streets, or increase the danger of fire, or endanger the public safety. The reduction in setbacks will not increase the danger of fire.**



Continued On Next Page

LDC 367.5 Variance Review Criteria

G. The variance granted is the minimum variance that will make possible the reasonable use of the property;

***Analysis:* The requested variances are the minimum variances to allow the critical infrastructure lift station structure to remain.**

H. The property cannot be put to a reasonable use which complies fully with the requirements of the Code unless the variance is granted;

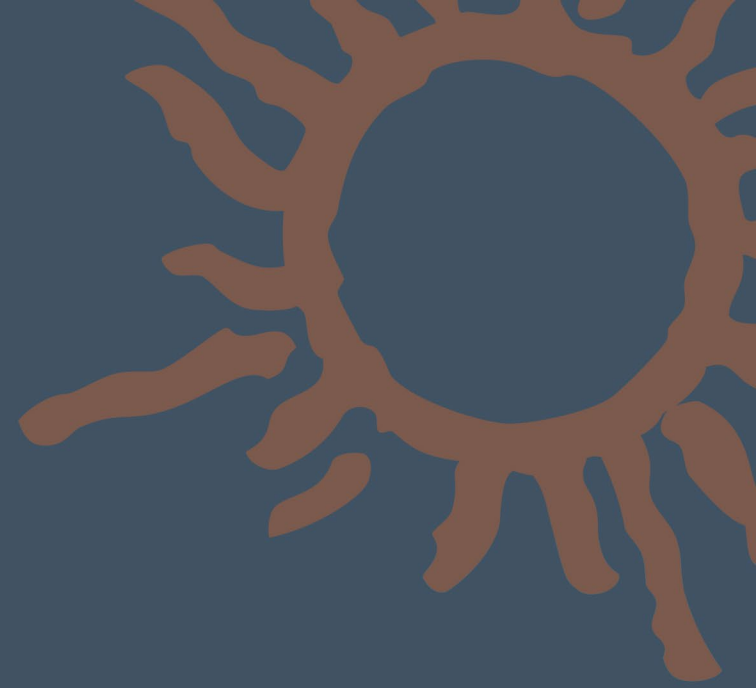
***Analysis:* If these variance requests are denied the property can be put to a reasonable use but would require the Manatee County Utilities Department to incur significant cost to relocate the structure at the taxpayer's expense.**

I. A variance may be issued if it is found that it will correct a bona fide staff error that has led to construction that does not comply with the Code.

***Analysis:* The requested variances are a direct result of a bona fide staff error which led to the structure's construction within the required setbacks.**



Questions?



Manatee County Lift Station Building Variance

VA-25-09 / PLN2510-0235

**Loretta Merrill, Senior Planner
Hearing Officer
April 20, 2026**



**NOTICE OF INTENT TO APPROVE
VARIANCE NO. VA-25-09
Manatee County Lift Station Building Variance – PLN2510-0235**

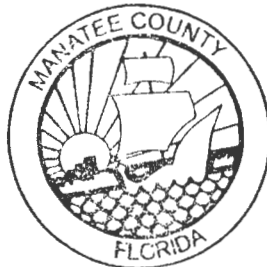
This Notice is to all parties of record for Variance Application No. VA-25-09, which requests a variance to the rear yard and west side yard setback requirements in the Neighborhood Commercial Medium (NC-M) zoning district to reduce the required rear yard setback from 20 feet to 1.17 feet and the required west side yard setback from 10 feet to 3.83 feet, for a site located at 8720 Cortez Rd. W, Bradenton (Manatee County) on approximately 0.18 acres (Parcel ID 7500610006). It is the intent of the Hearing Officer to approve this application. The Findings of Fact, Conclusions of Law, and Conditions for Approval are contained in the attached draft Final Order.

Section 312.8.B.5 of the Manatee County Land Development Code provides as follows:

Final Order. After issuance of the Notice of Intent by a Hearing Officer, parties of record shall have five (5) business days in which to file a response with the Department Director. Within ten (10) business days from the date of receipt of response, the Hearing Officer shall:

- a. Issue the order approving, approving with conditions or denying the application; or
- b. If, after reviewing the responses, the Hearing Officer determines that there is substantial new information which would materially affect the decision and which was not reasonably available at the time of the public hearing, he/she shall reopen the public hearing pursuant to Section 312.8.A.6.

ISSUED ON BEHALF OF MANATEE COUNTY, this 13th day of May, 2026.



MANATEE COUNTY, FLORIDA

Kelly E, as
Manatee County Hearing Officer

ATTEST: ANGELINA COLONNESO
Clerk of the Circuit Court

BY: Angela Colonneso
Deputy Clerk

VARIANCE NO. NO. VA-25-09
Manatee County Lift Station Building
PLN2510-0235

FINAL ORDER OF MANATEE COUNTY HEARING OFFICER KELLY FERNANDEZ ON BEHALF OF MANATEE COUNTY GRANTING VARIANCE NO. VA-25-09 TO ALLOW A VARIANCE TO THE SETBACK REQUIREMENTS IN THE NEIGHBORHOOD COMMERCIAL MEDIUM (NC-M) ZONING DISTRICT TO REDUCE THE REQUIRED REAR YARD SETBACK FROM 20 FEET TO 1.17 FEET AND THE REQUIRED WEST SIDE YARD SETBACK FROM 10 FEET TO 3.83 FEET, FOR A SITE LOCATED AT 8720 CORTEZ ROAD W, BRADENTON, 34210 (MANATEE COUNTY) ON APPROXIMATELY 0.18 ACRES (PARCEL ID 750061006); PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Board of County Commissioners of Manatee County adopted the Manatee County Land Development Code (LDC), Manatee County Ordinance 15-17, as amended; and

WHEREAS, pursuant to the LDC, the Hearing Officer has the authority to grant variances; and

WHEREAS, Manatee County requested a Variance to reduce the rear yard and west side yard setbacks in the Neighborhood Commercial Medium (NC-M) zoning district from 20 feet to 1.17 feet for the required rear yard setback and from 10 feet to 3.83 feet for the required west side yard setback for a lift station due to bona fide staff error; and

WHEREAS, on April 20, 2026, the aforementioned Hearing Officer held a public hearing to receive the staff report, applicant, and public comment, and argument regarding the proposed Variance.

NOW, THEREFORE, after consideration of the application for Variance 25-09 requested by Manatee County, the Hearing Officer makes the following Findings of Fact and Conclusions of Law and issues the Final Order as follows:

Section 1. Findings of Fact. The Hearing Officer, after considering comment, argument, evidence, documentation and staff report presented, as well as all other matters presented at the Public Hearing above referenced, hereby makes the following Findings of Fact:

- A. The subject property is in the P/SP-1 (Public/Semi-Public 1) Future Land Use Category.
- B. The subject property is in the Neighborhood Commercial Medium (NC-M) zoning district.
- C. The request is to approve a Variance to reduce the required rear yard setback from 20 feet to 1.17 feet and the required west side yard setback from 10 feet to 3.83 feet for a lift station.
- D. The building permit application was submitted in April 2024 and the building permit site plan was approved on August 8, 2024 with the incorrect setbacks.
- E. Not until nearly the time of final inspection were the setback errors identified.

- F. Manatee County staff recommends approval of the Variance due to the bona fide staff error of approving the building permit application with the incorrect setbacks.
- G. The site lies in AE Zone, Panel #12081C0191F, effective 8/10/2021.

Section 2. Conclusions of Law. Based upon the prior Findings of Fact and considering the testimony, evidence, documentation and the staff report presented, and a review of the applicable provisions of the Manatee County Comprehensive Plan and Manatee County Land Development Code, the above referenced Hearing Officer hereby makes the following Conclusions of Law:

- A. This Hearing Officer has jurisdiction over the parties and subject matter in this proceeding pursuant to the LDC.
- B. The applicant has the burden of proving entitlement to the Variance sought. See *Gomez vs. City of St. Petersburg*, 550 So. 2nd 7 (Fla 2nd DCA 1989).
- C. The variance is not the type prohibited by Section 367.2 of the LDC.
- D. The variance meets the applicable criteria set forth in Section 367.5 of the LDC.
- E. There were bona fide staff errors in approving a building permit application that reflected incorrect setbacks.
- F. The conditions upon which the request for a variance is based are unique to the parcel, and do not appear to be applicable to other properties within the vicinity.
- G. The variance is not based on any conditions, including financial, occupational, or ability, which are personal to the applicant as applied to the property involved in the application.
- H. The alleged hardship was not created by any person presently having an interest in the property and was created, in part, as a result of a bona fide staff error.
- I. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the vicinity.
- J. The variance will not substantially increase the congestion in the public streets, or increase the danger of fire, or endanger public safety.
- K. The variance is the minimum variance that will make possible the reasonable use of the property given the bona fide error.

Section 3. Order. Based upon the foregoing, a Variance is hereby approved and issued to Manatee County for a property located at 8720 Cortez Road W, Bradenton, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference, reducing the required rear yard setback from 20 feet to 1.17 feet and the required west side yard setback from 10 feet to 3.83 feet, subject to the following stipulation:

1. This variance shall not be effective until it has been recorded in the Public Records of Manatee County, Florida by the applicant and a copy of the recorded order is received by the Development Services Department.

Section 4. Severability. In the event that any portion or section of this Order is determined to be invalid, illegal or unconstitutional by a court of competent jurisdiction, such decisions shall in no manner affect the remaining portions or sections of the Variance which shall remain in full force and effect.

Section 5. Effective Date. The effective date of this Variance shall be upon execution of this Order and its recordation in the Official Records by the applicant with the Office of the Clerk of the Circuit Court and receipt of a copy of the recorded Order by the Building and Development Services Department.

ORDERED ON BEHALF OF MANATEE COUNTY this ___ day of _____, 2026.

MANATEE COUNTY, FLORIDA

**BY: _____, as
Hearing Officer for Manatee County**

**ATTEST: ANGELINA COLONNESO,
Clerk of the Circuit Court**

**BY: _____
Deputy Clerk**

EXHIBIT "A"

BEG AT SE COR OF GOVT LOT 1, TH RUN W ALG N R/W LN OF S R 684, A DIST OF 900 FT TO POB, TH CONT W ADJACENT TO & PARALLEL WITH SD R/W LN A DIST OF 100 FT, TH N & PARALLEL WITH E LN OF SEC 1, A DIST OF 80 FT, TH E & PARALLEL WITH SD S R R/W A DIST OF 100 FT, TH S & PARALLEL WITH SD SEC LN A DIST OF 80 FT TO POB AS DESC IN ORB 614 PG 928 PRMCF P-3-1 PI#75006.1000/6

DRAFT

**NOTICE OF INTENT TO APPROVE
VARIANCE NO. VA-25-09
Manatee County Lift Station Building Variance – PLN2510-0235**

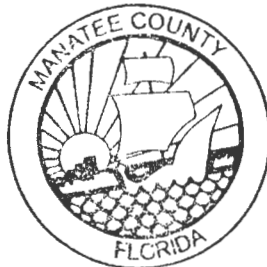
This Notice is to all parties of record for Variance Application No. VA-25-09, which requests a variance to the rear yard and west side yard setback requirements in the Neighborhood Commercial Medium (NC-M) zoning district to reduce the required rear yard setback from 20 feet to 1.17 feet and the required west side yard setback from 10 feet to 3.83 feet, for a site located at 8720 Cortez Rd. W, Bradenton (Manatee County) on approximately 0.18 acres (Parcel ID 7500610006). It is the intent of the Hearing Officer to approve this application. The Findings of Fact, Conclusions of Law, and Conditions for Approval are contained in the attached draft Final Order.

Section 312.8.B.5 of the Manatee County Land Development Code provides as follows:

Final Order. After issuance of the Notice of Intent by a Hearing Officer, parties of record shall have five (5) business days in which to file a response with the Department Director. Within ten (10) business days from the date of receipt of response, the Hearing Officer shall:

- a. Issue the order approving, approving with conditions or denying the application; or
- b. If, after reviewing the responses, the Hearing Officer determines that there is substantial new information which would materially affect the decision and which was not reasonably available at the time of the public hearing, he/she shall reopen the public hearing pursuant to Section 312.8.A.6.

ISSUED ON BEHALF OF MANATEE COUNTY, this 13th day of May, 2026.



MANATEE COUNTY, FLORIDA

Kelly E, as
Manatee County Hearing Officer

ATTEST: ANGELINA COLONNESO
Clerk of the Circuit Court

BY: Angie Colonneso
Deputy Clerk

VARIANCE NO. NO. VA-25-09
Manatee County Lift Station Building
PLN2510-0235

FINAL ORDER OF MANATEE COUNTY HEARING OFFICER KELLY FERNANDEZ ON BEHALF OF MANATEE COUNTY GRANTING VARIANCE NO. VA-25-09 TO ALLOW A VARIANCE TO THE SETBACK REQUIREMENTS IN THE NEIGHBORHOOD COMMERCIAL MEDIUM (NC-M) ZONING DISTRICT TO REDUCE THE REQUIRED REAR YARD SETBACK FROM 20 FEET TO 1.17 FEET AND THE REQUIRED WEST SIDE YARD SETBACK FROM 10 FEET TO 3.83 FEET, FOR A SITE LOCATED AT 8720 CORTEZ ROAD W, BRADENTON, 34210 (MANATEE COUNTY) ON APPROXIMATELY 0.18 ACRES (PARCEL ID 750061006); PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Board of County Commissioners of Manatee County adopted the Manatee County Land Development Code (LDC), Manatee County Ordinance 15-17, as amended; and

WHEREAS, pursuant to the LDC, the Hearing Officer has the authority to grant variances; and

WHEREAS, Manatee County requested a Variance to reduce the rear yard and west side yard setbacks in the Neighborhood Commercial Medium (NC-M) zoning district from 20 feet to 1.17 feet for the required rear yard setback and from 10 feet to 3.83 feet for the required west side yard setback for a lift station due to bona fide staff error; and

WHEREAS, on April 20, 2026, the aforementioned Hearing Officer held a public hearing to receive the staff report, applicant, and public comment, and argument regarding the proposed Variance.

NOW, THEREFORE, after consideration of the application for Variance 25-09 requested by Manatee County, the Hearing Officer makes the following Findings of Fact and Conclusions of Law and issues the Final Order as follows:

Section 1. Findings of Fact. The Hearing Officer, after considering comment, argument, evidence, documentation and staff report presented, as well as all other matters presented at the Public Hearing above referenced, hereby makes the following Findings of Fact:

- A. The subject property is in the P/SP-1 (Public/Semi-Public 1) Future Land Use Category.
- B. The subject property is in the Neighborhood Commercial Medium (NC-M) zoning district.
- C. The request is to approve a Variance to reduce the required rear yard setback from 20 feet to 1.17 feet and the required west side yard setback from 10 feet to 3.83 feet for a lift station.
- D. The building permit application was submitted in April 2024 and the building permit site plan was approved on August 8, 2024 with the incorrect setbacks.
- E. Not until nearly the time of final inspection were the setback errors identified.

- F. Manatee County staff recommends approval of the Variance due to the bona fide staff error of approving the building permit application with the incorrect setbacks.
- G. The site lies in AE Zone, Panel #12081C0191F, effective 8/10/2021.

Section 2. Conclusions of Law. Based upon the prior Findings of Fact and considering the testimony, evidence, documentation and the staff report presented, and a review of the applicable provisions of the Manatee County Comprehensive Plan and Manatee County Land Development Code, the above referenced Hearing Officer hereby makes the following Conclusions of Law:

- A. This Hearing Officer has jurisdiction over the parties and subject matter in this proceeding pursuant to the LDC.
- B. The applicant has the burden of proving entitlement to the Variance sought. See *Gomez vs. City of St. Petersburg*, 550 So. 2nd 7 (Fla 2nd DCA 1989).
- C. The variance is not the type prohibited by Section 367.2 of the LDC.
- D. The variance meets the applicable criteria set forth in Section 367.5 of the LDC.
- E. There were bona fide staff errors in approving a building permit application that reflected incorrect setbacks.
- F. The conditions upon which the request for a variance is based are unique to the parcel, and do not appear to be applicable to other properties within the vicinity.
- G. The variance is not based on any conditions, including financial, occupational, or ability, which are personal to the applicant as applied to the property involved in the application.
- H. The alleged hardship was not created by any person presently having an interest in the property and was created, in part, as a result of a bona fide staff error.
- I. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the vicinity.
- J. The variance will not substantially increase the congestion in the public streets, or increase the danger of fire, or endanger public safety.
- K. The variance is the minimum variance that will make possible the reasonable use of the property given the bona fide error.

Section 3. Order. Based upon the foregoing, a Variance is hereby approved and issued to Manatee County for a property located at 8720 Cortez Road W, Bradenton, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference, reducing the required rear yard setback from 20 feet to 1.17 feet and the required west side yard setback from 10 feet to 3.83 feet, subject to the following stipulation:

1. This variance shall not be effective until it has been recorded in the Public Records of Manatee County, Florida by the applicant and a copy of the recorded order is received by the Development Services Department.

Section 4. Severability. In the event that any portion or section of this Order is determined to be invalid, illegal or unconstitutional by a court of competent jurisdiction, such decisions shall in no manner affect the remaining portions or sections of the Variance which shall remain in full force and effect.

Section 5. Effective Date. The effective date of this Variance shall be upon execution of this Order and its recordation in the Official Records by the applicant with the Office of the Clerk of the Circuit Court and receipt of a copy of the recorded Order by the Building and Development Services Department.

ORDERED ON BEHALF OF MANATEE COUNTY this ____ day of _____, 2026.

MANATEE COUNTY, FLORIDA

**BY: _____, as
Hearing Officer for Manatee County**

**ATTEST: ANGELINA COLONNESO,
Clerk of the Circuit Court**

**BY: _____
Deputy Clerk**

EXHIBIT "A"

BEG AT SE COR OF GOVT LOT 1, TH RUN W ALG N R/W LN OF S R 684, A DIST OF 900 FT TO POB, TH CONT W ADJACENT TO & PARALLEL WITH SD R/W LN A DIST OF 100 FT, TH N & PARALLEL WITH E LN OF SEC 1, A DIST OF 80 FT, TH E & PARALLEL WITH SD S R R/W A DIST OF 100 FT, TH S & PARALLEL WITH SD SEC LN A DIST OF 80 FT TO POB AS DESC IN ORB 614 PG 928 PRMCF P-3-1 PI#75006.1000/6

DRAFT

**VARIANCE NO. NO. VA-25-09
Manatee County Lift Station Building
PLN2510-0235**

FINAL ORDER OF MANATEE COUNTY HEARING OFFICER KELLY FERNANDEZ ON BEHALF OF MANATEE COUNTY GRANTING VARIANCE NO. VA-25-09 TO ALLOW A VARIANCE TO THE SETBACK REQUIREMENTS IN THE NEIGHBORHOOD COMMERCIAL MEDIUM (NC-M) ZONING DISTRICT TO REDUCE THE REQUIRED REAR YARD SETBACK FROM 20 FEET TO 1.17 FEET AND THE REQUIRED WEST SIDE YARD SETBACK FROM 10 FEET TO 3.83 FEET, FOR A SITE LOCATED AT 8720 CORTEZ ROAD W, BRADENTON, 34210 (MANATEE COUNTY) ON APPROXIMATELY 0.18 ACRES (PARCEL ID 750061006); PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Board of County Commissioners of Manatee County adopted the Manatee County Land Development Code (LDC), Manatee County Ordinance 15-17, as amended; and

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WHEREAS, on April 20, 2026, the aforementioned Hearing Officer held a public hearing to receive the staff report, applicant, and public comment, and argument regarding the proposed Variance.

NOW, THEREFORE, after consideration of the application for Variance 25-09 requested by Manatee County, the Hearing Officer makes the following Findings of Fact and Conclusions of Law and issues the Final Order as follows:

Section 1. Findings of Fact. The Hearing Officer, after considering comment, argument, evidence, documentation and staff report presented, as well as all other matters presented at the Public Hearing above referenced, hereby makes the following Findings of Fact:

- A. The subject property is in the P/SP-1 (Public/Semi-Public 1) Future Land Use Category.
- B. The subject property is in the Neighborhood Commercial Medium (NC-M) zoning district.
- C. The request is to approve a Variance to reduce the required rear yard setback from 20 feet to 1.17 feet and the required west side yard setback from 10 feet to 3.83 feet for a lift station.
- D. The building permit application was submitted in April 2024 and the building permit site plan was approved on August 8, 2024 with the incorrect setbacks.
- E. Not until nearly the time of final inspection were the setback errors identified.

Page 2 of 4 – VA-25-09 – Manatee County Lift Station - PLN2510-0235

- F. Manatee County staff recommends approval of the Variance due to the bona fide staff error of approving the building permit application with the incorrect setbacks.
- G. The site lies in AE Zone, Panel #12081C0191F, effective 8/10/2021.

Section 2. Conclusions of Law. Based upon the prior Findings of Fact and considering the testimony, evidence, documentation and the staff report presented, and a review of the applicable provisions of the Manatee County Comprehensive Plan and Manatee County Land Development Code, the above referenced Hearing Officer hereby makes the following Conclusions of Law:

- A. This Hearing Officer has jurisdiction over the parties and subject matter in this proceeding pursuant to the LDC.
- B. The applicant has the burden of proving entitlement to the Variance sought. See *Gomez vs. City of St. Petersburg*, 550 So. 2nd 7 (Fla 2nd DCA 1989).
- C. The variance is not the type prohibited by Section 367.2 of the LDC.
- D. The variance meets the applicable criteria set forth in Section 367.5 of the LDC.
- E. There were bona fide staff errors in approving a building permit application that reflected incorrect setbacks.
- F. The conditions upon which the request for a variance is based are unique to the parcel, and do not appear to be applicable to other properties within the vicinity.
- G. The variance is not based on any conditions, including financial, occupational, or ability, which are personal to the applicant as applied to the property involved in the application.
- H. The alleged hardship was not created by any person presently having an interest in the property and was created, in part, as a result of a bona fide staff error.
- I. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the vicinity.
- J. The variance will not substantially increase the congestion in the public streets, or increase the danger of fire, or endanger public safety.
- K. The variance is the minimum variance that will make possible the reasonable use of the property given the bona fide error.

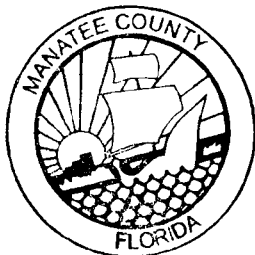
Section 3. Order. Based upon the foregoing, a Variance is hereby approved and issued to Manatee County for a property located at 8720 Cortez Road W, Bradenton, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference, reducing the required rear yard setback from 20 feet to 1.17 feet and the required west side yard setback from 10 feet to 3.83 feet, subject to the following stipulation:

1. This variance shall not be effective until it has been recorded in the Public Records of Manatee County, Florida by the applicant and a copy of the recorded order is received by the Development Services Department.

Section 4. Severability. In the event that any portion or section of this Order is determined to be invalid, illegal or unconstitutional by a court of competent jurisdiction, such decisions shall in no manner affect the remaining portions or sections of the Variance which shall remain in full force and effect.

Section 5. Effective Date. The effective date of this Variance shall be upon execution of this Order and its recordation in the Official Records by the applicant with the Office of the Clerk of the Circuit Court and receipt of a copy of the recorded Order by the Building and Development Services Department.

ORDERED ON BEHALF OF MANATEE COUNTY this 2nd day of June, 2026.



MANATEE COUNTY, FLORIDA

BY: Kell S, as
Hearing Officer for Manatee County

ATTEST: ANGELINA COLONNESO,
Clerk of the Circuit Court

BY: Wabi Jessner
Deputy Clerk

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EXHIBIT "A"

BEG AT SE COR OF GOVT LOT 1, TH RUN W ALG N R/W LN OF S R 684, A DIST OF 900 FT TO POB, TH CONT W ADJACENT TO & PARALLEL WITH SD R/W LN A DIST OF 100 FT, TH N & PARALLEL WITH E LN OF SEC 1, A DIST OF 80 FT, TH E & PARALLEL WITH SD S R R/W A DIST OF 100 FT, TH S & PARALLEL WITH SD SEC LN A DIST OF 80 FT TO POB AS DESC IN ORB 614 PG 928 PRMCF P-3-1 PI#75006.1000/6

