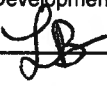


MANATEE COUNTY GOVERNMENT

AGENDA MEMORANDUM

SUBJECT	LDA-08-05(R) – Amended Local Development Agreement for Parrish Plantation	TYPE AGENDA ITEM	Advertised Public Hearing – Consent
DATE REQUESTED	06/13/13 PC	DATE SUBMITTED/REVISED	06/03/13
BRIEFINGS? Who?	No	CONSEQUENCES IF DEFERRED	N/A
DEPARTMENT/DIVISION	Building & Development Services Division/ Comprehensive Planning and Public Hearings	AUTHORIZED BY TITLE	Lisa Barrett, Division Manager, Building & Development Services Department 
CONTACT PERSON TELEPHONE/EXTENSION	Katie LaBarr, AICP, Building & Development Services/941-748-4501, ext. 6828	PRESENTER/TITLE TELEPHONE/EXTENSION	Katie LaBarr, AICP, Building & Development Services/941-748-4501, ext. 6828
ADMINISTRATIVE APPROVAL			

ACTION DESIRED

INDICATE WHETHER 1) REPORT; 2) DISCUSSION; 3) FORM OF MOTION; OR 4) OTHER ACTION REQUIRED

No action is necessary at this time. A second public hearing is scheduled for April 4, 2013, at which time a recommended motion will be presented.

ENABLING/REGULATING AUTHORITY

Federal/State law(s), administrative ruling(s), Manatee County Comp Plan/Land Development Code, ordinances, resolutions, policy

Manatee County Comprehensive Plan and Manatee County Land Development Code.

BACKGROUND/DISCUSSION

- The request is for approval of a first amendment to an LDA for the Parrish Plantation subdivision which is located in Manatee County, generally located on the west side of US 301, at the southwest corner of SR 62 and US 301.

History

- On May 24, 2007, this site was rezoned from General Agriculture/North Central Overlay (A/NCO) to Planned Development Mixed Use, retaining the North Central Overlay. A Preliminary Site Plan was approved for 488 residential units consisting of 266 single family detached, and 222 single family attached units, 86,100 square feet of commercial uses, 53,000 square feet of office, and community service uses consisting of a library and YMCA.
- On November 18, 2008, the Board of County Commissioners approved a Local Development Agreement, providing for the following:
 - an extended site plan approval to May 24, 2014,
 - the dedication of right-of-way for US 301, SR 62, and Spencer Parrish Road (the applicant waived entitlement to impact fee credits),
 - an extended CLOS for residential units and the library was issued with an expiration date of seven years from the date of issuance.
 - The applicant had the option of requesting a separate CLOS for any other portion of remaining development components, retaining their place in the Concurrency Reservation System, provided they apply prior to expiration of the first CLOS. The applicant is subject to any conditions that are necessary to ensure no degradation of adopted levels of service for public facilities. The expiration of any subsequent CLOS shall coincide with the expiration date of the first CLOS.
- The CLOS was issued on January 16, 2009, scheduled to expire January 16, 2016. On June 11, 2009, the CLOS was extended for two additional years, pursuant to R-09-089, to January 16, 2018.
- Since this plan was approved in 2007, the YMCA has opened at the Parrish Schoolhouse at 12214 US 301 North and the Rocky Bluff Library is now operating in Ellenton at 6750 US 301 North, to serve the Ellenton and Parrish communities.

Request

- The purpose for revising the LDA is to remove references to the library that was previously approved for this site, and update language to be consistent with the revised Preliminary Site Plan that was approved on June 6, 2013.
- The applicant also proposes to extend the expiration date of the Preliminary Site Plan from May 24, 2014 to May 24, 2018.
- In accordance with Section 508.8.2.4 of the LDC, the County is authorized to issue a preliminary site plan approval for a term greater than five (5)

years in connection with a development agreement.

- The original LDA and this First Amendment contain the same approved upon conditions.
- Staff recommends approval of this agreement.

COUNTY ATTORNEY REVIEW	
Check appropriate box	
<input checked="" type="checkbox"/>	REVIEWED Written Comments: <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Available from Attorney (Attorney's initials: WEC)
<input type="checkbox"/>	NOT REVIEWED (No apparent legal issues.)
<input type="checkbox"/>	NOT REVIEWED (Utilizes exact form or procedure previously approved by CAO.)
<input type="checkbox"/>	OTHER

ATTACHMENTS: (List in order as attached)		INSTRUCTIONS TO BOARD RECORDS:	
1. LDA-08-05 2. Recommended LDA - LDA-08-05(R) 3. Copy of Newspaper Advertising		Please forward three certified copies of the executed document to Bobbi Roy / Building and Development Services Department.	
COST:	n/a	SOURCE (ACCT # & NAME):	n/a
COMMENTS:		AMT./FREQ. OF RECURRING COSTS: (ATTACH FISCAL IMPACT STATEMENT)	

MEMORANDUM



**Building and Development
Services**

1112 Manatee Avenue W
Bradenton, FL 34205

MANATEE COUNTY
FLORIDA

Phone: 941-748-4501 x 6878

Fax: 941-749-3071

www.myanatee.org

To: Lisa Barrett, Planning Division Manager
From: Bobbi Roy, Planning Coordinator
Date: June 12, 2013
Subject: Agenda Update for the June 13, 2013 Planning Commission

Additional minutes for approval May 23, 2013

- Item #1** **LDA-08-05(R) – Amendment to Local Development Agreement for Parrish Plantation Development**
REVISED ACTION DESIRED: No action is necessary at this time. A second public hearing is scheduled with the Board of County Commissioners on August 8, 2013 at 9 am or as soon thereafter as same may be heard at the Manatee County Government Administrative Center, 1st Floor Chambers.
- Item #4** **PDMU-13-03(P) – Duke Investments, LLC/University Groves West**
Revised Motion to continue: I move to continue the public hearing for PDMU-13-03(P) to July 11, 2013 at 9:00 a.m., or as soon thereafter as same may be heard at the Manatee County Government Administrative Center, 1st Floor Chambers.
- Item #6** **PDR-13-02(Z)(P) – University Village, LLC – University Village**
Revised Stipulation A.4 and A.6 – see attached

/br

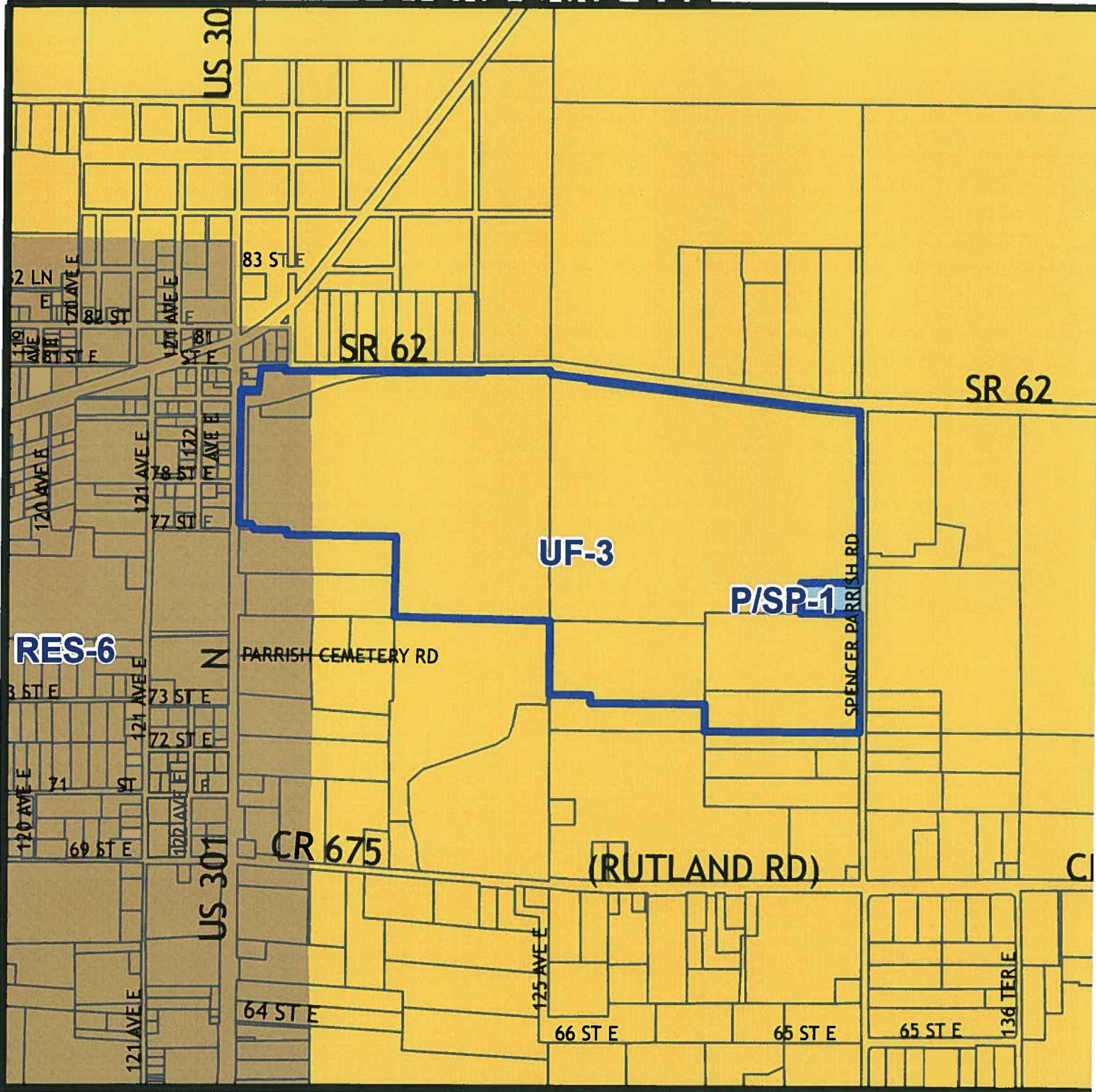
cc: Planning Commissioners – 7
Bob Agrusa, Transportation Systems Engineer
Tom Gerstenberger, Stormwater Engineering Division Manager
Doug Means, Planning Division Manager
Joel Christian, Environmental Review Manager
Sarah Schenk, Assistant County Attorney
Susan Angersoll, Development Review Specialist
Katie LaBarr, AICP, Principal Planner
William Clague, Deputy County Attorney
Stephanie Moreland, Planner
Rossina Leider, Senior Development Review Specialist
Board Records
Counter Copy

UPDATE MEMO
06-13-13
UNIVERSITY VILLAGE PDR-13-02(Z)(P)

- A.4 A 25-foot separation is required between the garage and edge of sidewalks. Corner lots shall provide a 15 20-foot setback from the structure (non-garage) to the property line adjacent to the other street.**

- A.6 A solid, decorative, opaque fence or wall a minimum of six (6) feet tall is required between the University Village lots and the large residential parcels that front Tallevast Road in addition to the required landscaping. This applies to the parcels east of the Piece Pearce drain.**

FUTURE LAND USE



Parcel ID #(s) 421220109,420900003,427400007,421000059,421500000,426100004

Project Name: Parrish Plantation LDA Amendment
 Project #: LDA-08-05 (R)
 DTS#: 20130150
 Proposed Use: LDA

S/T/R: Sec 21,28,20,29 Twn 33 Rng 19

Acreage: 264.4
 Existing Zoning: PD-MU
 Existing FLU: UF-3, RES-6
 Overlays: PCV
 Special Areas: Greenway

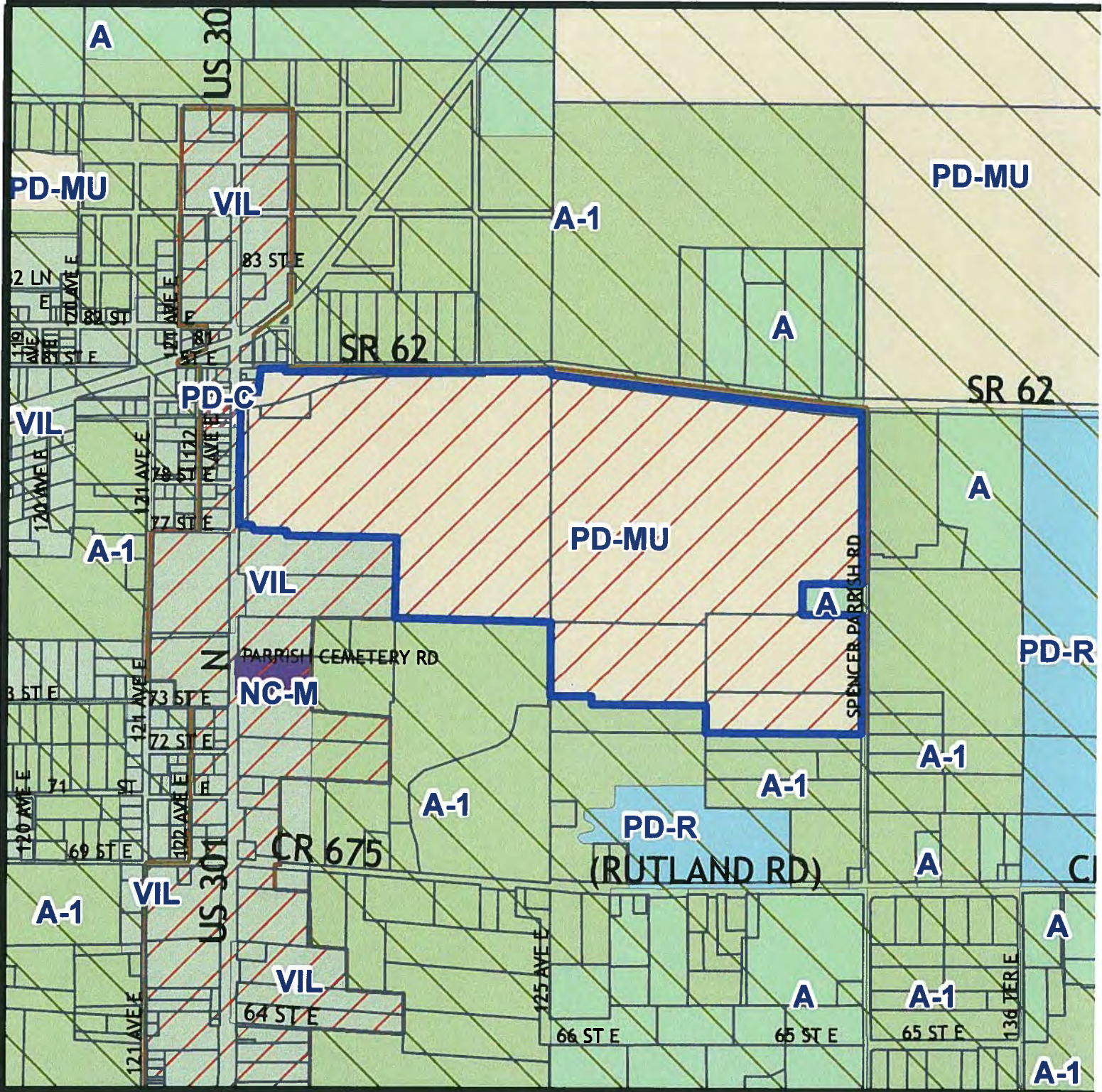
CHH: NONE
 Watershed: NONE
 Drainage Basin: GAMBLE CREEK SINK
 Commissioner: Larry Bustle



Manatee County
 Staff Report Map

Map Prepared 10/16/2012
 1 inch = 1,151 feet

ZONING



Parcel ID #(s) 421220109,420900003,427400007,421000059,421500000,426100004

Project Name: Parrish Plantation LDA Amendment
 Project #: LDA-08-05 (R)
 DTS#: 20130150
 Proposed Use: LDA

S/T/R: Sec 21,28,20,29 Twn 33 Rng 19
 Acreage: 264.4
 Existing Zoning: PD-MU
 Existing FLU: UF-3, RES-6
 Overlays: PCV
 Special Areas: Greenway

CHH: NONE
 Watershed: NONE
 Drainage Basin: GAMBLE CREEK SINK
 Commissioner: Larry Bustle

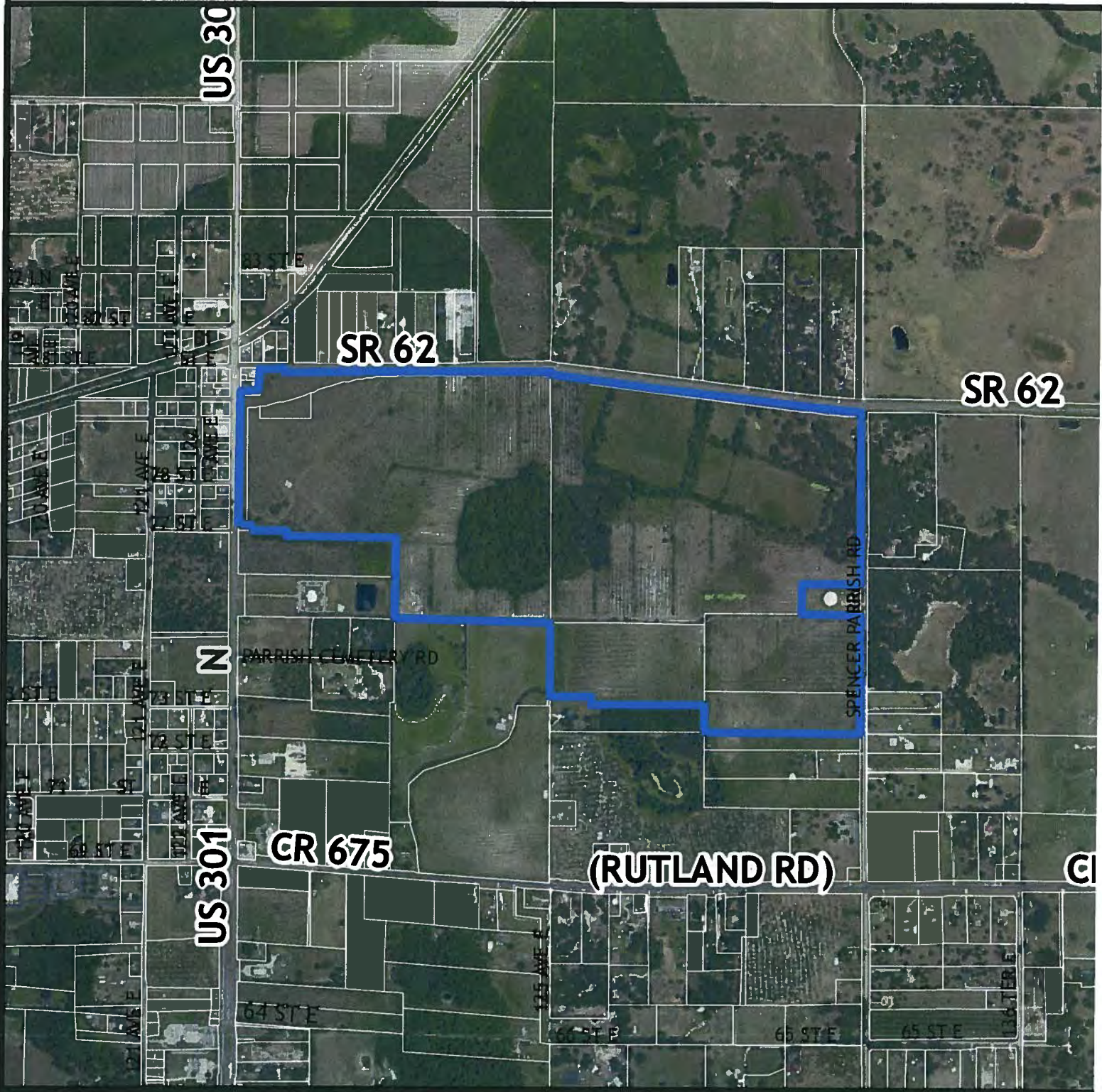
 Parrish Commercial Village
 North Central Overlay



Manatee County
 Staff Report Map

Map Prepared 10/16/2012
 1 inch = 1,151 feet

AERIAL



Parcel ID #(s) 421220109,420900003,427400007,421000059,421500000,426100004

Project Name: Parrish Plantation LDA Amendment
 Project #: LDA-08-05 (R)
 DTS#: 20130150
 Proposed Use: LDA

S/T/R: Sec 21,28,20,29 Twn 33 Rng 19

Acreage: 264.4
 Existing Zoning: PD-MU
 Existing FLU: UF-3, RES-6
 Overlays: PCV
 Special Areas: Greenway

CHH: NONE
 Watershed: NONE
 Drainage Basin: GAMBLE CREEK SINK
 Commissioner: Larry Bustle



Manatee County
 Staff Report Map

Map Prepared 10/16/2012
 1 inch = 1,151 feet

Parrish Plantation Amendment to Development Agreement

This Amendment to Development Agreement ("Amendment") is made and entered into between Parrish Plantation, LLC, a Florida limited liability company, whose address is 4200 Marsh Landing Boulevard, Suite 100, Jacksonville, Florida 32250 ("Company") and Manatee County, a political subdivision of the State of Florida, whose address is 1112 Manatee Avenue West, Bradenton, FL 34205 ("County").

WITNESSETH

WHEREAS, Parrish Plantation, LLC, and County entered into a Local Development Agreement (LDA-08-05) dated as of the 18th day of November 2008 (the "Agreement"), relative to a project known as Parrish Plantation (the "Project") which received a Preliminary Site Plan approval by the County on May 24, 2007, pursuant to County Ordinance No. PDMU-07-07(Z)(P) (the "Development Order"); and

WHEREAS, the Agreement contained various projects to be undertaken by the Company, including the dedication of land for a County Library and Road Right of Way Dedication for U. S. 301, State Road 62 and Spencer Parrish Road; and

WHEREAS, the Company has completed all of its obligations with respect to the above dedication of Right of Way; and

WHEREAS, pursuant to an amendment to the Development Order approved on June 6, 2013 (PDMU-07-7 (P)(R)) the County determined that the dedication of land for a County Library is no longer necessary, and approved a revised Preliminary Site Plan for the Project; and

WHEREAS, the Agreement sets forth the expiration date of the Preliminary Site Plan for the Project, which expiration date may be extended by the County; and

WHEREAS, due to the delays in the approval process beyond the control of Company and due to market conditions, the Project is not scheduled to be completed by the expiration date of the Preliminary Site Plan as set forth in the Agreement; and

WHEREAS, a Certificate of Level of Service ("CLOS") was issued for a portion of the development of the Project and has been extended by other actions of the Board; and

WHEREAS, the parties agree that an extension of the Preliminary Site Plan to May 24, 2018 is warranted; and

WHEREAS, in order to assure that the Agreement remains consistent with the recently amended Development Order, the parties wish to amend the Agreement as set forth herein.

NOW THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, receipt of which is hereby acknowledged, the parties agree as follows:

1.0 **WHEREAS Clauses.** The parties find the WHEREAS clauses contained above to be true and accurate and hereby adopt them as findings of fact and conclusions of law as appropriate.

2.0 **Definitions.** The definitions contained in the Agreement shall have the same meaning in this Amendment.

3.0 **Legal Description.** The legal description of the land subject to this Development Agreement is the same property as attached **Exhibit "A"** in the Agreement.

4.0 **Development Uses.** Section 2 of the Agreement is hereby amended to modify the Development Uses to delete the library and reflect the uses on the revised Preliminary Site Plan as follows: "a maximum of four hundred eighty eight (488) residential units within the Project which may be a combination of attached and detached units, a maximum of 116,100 square feet of commercial and 83,000 square feet of office".

5.0 **Additional Conditions.** Section 5 of the Agreement is hereby amended to extend the expiration date of the Preliminary Site Plan by changing "May 24, 2014" to "May 24, 2018" and by changing "two years" to "six years". A copy of the Revised Preliminary Site Plan approved on June 6, 2013, is attached as **Exhibit "B"**.

6.0 **Deletion of Library Dedication:** Section 7. (A) is deleted in its entirety.

7.0 **Continuation of Agreement.** Except as specifically amended herein, the terms and conditions of the Agreement shall remain in full force and effect.

8.0 **Effective Date.** This Amendment shall not become effective until i) it has been executed by all parties and ii) it has been recorded in the Public Records of Manatee County, Florida, at the expense of Company.

IN WITNESS WHEREOF, the parties hereto have executed this Amendment, by and through their duly authorized signatories, as of the dates set forth below.

MANATEE COUNTY, FLORIDA,
a political subdivision of the State of Florida

By: Board of County Commissioners

By: _____
Larry Bustle, Chairman of the
Board of County Commissioners

Date: _____

ATTEST:

R.B. SHORE, Clerk of the Circuit Court

By: _____
Deputy Clerk

WITNESS:

Parrish Plantation, LLC, a Florida limited liability company

Print Name: _____

BY: _____
R. Scott Griffith, President

Print Name: _____

Date: _____

STATE OF FLORIDA
COUNTY OF MANATEE

The foregoing instrument was acknowledged before me on this the ____ day of _____ 2013, by R. Scott Griffith, as President of Parrish Plantation, LLC, a Florida limited liability company on behalf of the company, who is personally known to me or who has produced _____ as identification.

[SEAL]

Notary Public

Printed Name of Notary

Commission Number

My Commission Expires:

Exhibit "A"

Legal Description of the Project Site

(3 Pages)

PARRISH PARCEL (taken from Chicago Title Insurance Company, Commitment for Title Insurance, Commitment No. 04-370-L, dated April 28, 2004):

Beginning at a point found by measuring from the Southeast corner of the Northwest ¼ of Section 28, Township 33 South, Range 19 East; North along the East line of said Northwest ¼, 330 feet more or less to the Northeast corner of Preston Parrish 10 acre tract; this being the above mentioned Point of Beginning; thence continue along said East line of the Northwest ¼, 660 feet; thence Westerly along a line parallel to the North line of Preston Parrish said 10 acre tract, 1320 feet; thence southerly 660 feet to the Northwest corner of said Preston Parrish tract; thence Easterly along the North line of said Preston Parrish tract 1320 feet more or less to the Point of Beginning, Less road right-of-way on East, all lying and being in Manatee County, Florida.

and

The South 330 feet of the Southeast ¼ of the Northwest ¼: less Road right-of-way on East, Section 28, Township 33 South, Range 19 East, Manatee County, Florida.

HYSMITH PARCEL (taken from Chicago Title Company, Commitment for Title Insurance, Commitment No. 04-1493-L, dated May 13, 2004):

Parcel 1:

Commenced at the Northeast corner of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida; thence S88°20'29"E, along the Easterly extension of the North line of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of said Section 29, a distance of 528.06 feet for a Point of Beginning; thence continue S88°20'29"E, along said North line 801.87 feet to the East line of the Southwest 1/4 of the Northwest 1/4 of Section 28, Township 33 South, Range 19 East; thence S00°28'45"W, 921.92 feet to the Southeast corner of the Southwest 1/4 of the Northwest 1/4 of said Section 28; thence N89°24'00"W, along the South line of the Southwest 1/4 of the Northwest 1/4 of said Section 28, 803.13 feet; thence N00°34'00"E, 936.73 feet to the Point of Beginning.

Parcel 2:

Begin at the Northeast corner of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida; thence S88°20'29"E, along the Easterly extension of the North line of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of said Section 29, a distance of 528.06 feet; thence S00°34'00"W, 468.37 feet; thence S88°52'14"W, 527.99 feet to the West line of Section 28, Township 33 South, Range 19 East, thence N00°34'00"E, along said West line 473.25 feet to the Point of Beginning.

Parcel 3:

Commence at the Northeast corner of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida, thence S00°34'00"W, along the West line of Section 28, Township 33 South, Range 19 East, a distance of 473.25 feet for a Point of Beginning; thence continue S00°34'00"W, along the West line 473.25 feet to the

Exhibit "A"

Southwest corner of the Southwest 1/4 of the Northwest 1/4 of said Section 28; thence S89°24'00"E, along the South line of the Southwest 1/4 of the Northwest 1/4 of said Section 28, 527.97 feet; thence N00°34'00"E, 468.37 feet; thence N88°52'14"W, 527.99 feet to the Point of Beginning.

Together with an easement for ingress and egress lying and being in the Southeastern 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida, more particularly described as follows: The East 20 feet of that portion of the Southeast 1/4 of Section 29, Township 33 South, Range 19 East, Lying North of S.R. 675.

LESS AND EXCEPT from above Parcels 1 and 3:

DESCRIPTION: A parcel of land lying in Southwest 1/4 of the Northwest 1/4 of Section 28, Township 33 South, Range 19 East, Manatee County, Florida, and being more particularly described as follows:

COMMENCE at the Northwest corner of said Section 28, run thence along the West boundary of said Section 28, S.00°05'49"E., 2789.17 feet for a POINT OF BEGINNING; thence along a line lying 300.00 feet North of and parallel with the South boundary of the Southwest 1/4 of the Northwest 1/4 of said Section 28, N.89°50'49"E., 345.00 feet; thence along a line lying 345.00 feet East of and parallel with aforesaid West boundary of Section 28, S.00°05'49"E., 70.17 feet; thence S.89°39'54"E., 986.68 feet to the East boundary of aforesaid Southwest 1/4 of the Northwest 1/4 of Section 28; thence along said East boundary of said Southwest 1/4 of the Northwest 1/4 of Section 28, S.00°06'06"E., 221.43 feet to the Southeast corner thereof; thence along the South boundary of said Southwest 1/4 of Northwest 1/4 of Section 28, S.89°50'49"W., 1331.29 feet to the Southwest corner thereof; thence along the West boundary of aforesaid Section 28 the following two (2) courses: 1) N.00°11'27"W., 232.77 feet to the Southeast corner of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida; 2) N.00°05'49"W., 67.23 feet to the POINT OF BEGINNING.

Containing 7.486 acres, more or less.

CONE PARCEL (taken from Chicago Title Insurance Company, Commitment for Title Insurance, Commitment 04-371-L, dated September 15, 2004):

Parcel 1:

Lots 3, 6 and 7, Subdivision of a Tract 840 feet square in the Northwest corner of the Northwest 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida.

Parcel 2:

The Northwest 1/4 of Section 28, Township 33 South, Range 19 East, Manatee County, Florida, less the South 330 feet of the Southeast 1/4 of the Northwest 1/4 less Parrish-Wauchula Road off the North and less 27 acres to King as described in O.R. Book 70, Page 313, less 20 acres to Parrish as described in O.R. Book 76, Page 54, Public Records of Manatee County, Florida, also subject to FPL easement as described in O.R. Book 829, Page 576, Public Records of Manatee County, Florida, all lying South of S.R. 62.

Parcel 4:

The East 1/2 of the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida, Less Lots 3, 4, 6 and 7 Subdivision of a Tract 840 feet square in the Northwest corner of the Northwest 1/4 of the Northeast 1/4, and Less begin 40 feet East and 30 feet North of the Southwest corner of the Northwest 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida, thence North 58.8 feet; thence East 120 feet; thence South 59 feet; thence West 120 feet to the Point of Beginning, Or Lots 19 and 20, Block 4, Parrish City Manor, vacated plat, also begin at the Northeast corner of the Southwest 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida; West 884.4 feet, South 42.4 feet, thence East 884.4 feet, North 41 feet, to Point of Beginning; and less the South 1/4 of the Southeast 1/4 of the Northeast 1/4 to King as described in O.R. Book 70, Page 313, Public Records of Manatee County, Florida, Less right-of-way for State Road 62.

Exhibit "B"

Preliminary Site Plan

(5 Pages)

DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT is made and entered into this 18th day of November, 2008, by and between **MANATEE COUNTY**, a political subdivision of the State of Florida whose address is 1112 Manatee Avenue West, Bradenton, Florida 34205, hereinafter referred to as the **"COUNTY"**, and **PARRISH PLANTATION, LLC**, a Florida limited liability company, hereinafter referred to as the **"APPLICANT"**.

WITNESSETH:

WHEREAS, the Applicant intends to construct improvements (the "Project") within a 264.44 +/- acre parcel of real property located in Manatee County, hereinafter sometimes referred to as the "Project Site"; and

WHEREAS, the Applicant holds legal title to the Project Site; and

WHEREAS, the Project Site is located within Manatee County, generally bounded by U.S. 301 on the west and State Road 62 on the north and Spencer Parrish Road on the east; and

WHEREAS, the complete legal description of the Project Site is contained in **Exhibit "A"** attached hereto; and

WHEREAS, the Applicant has filed Zoning Application No. PDMU-07-07(Z)(P) (the "Site Plan Application") to allow mixed uses within the PDMU Zone District consisting of residential, community service and commercial retail and offices to be constructed on the Project Site, hereinafter sometimes referred to as "Parrish Plantation"; and

WHEREAS, Florida law requires that public facilities and services needed to support new development shall be available concurrent with the impact of such new development [§163.3180, *Florida Statutes* (2007)]; and

WHEREAS, in accordance with State law and Section 510.4.2.2.1 of the Land Development Code (hereinafter referred to as the "LDC") the County is authorized to issue a Certificate of Level of Service ("CLOS") for a term greater than three (3) years subject to the required public facilities and services being guaranteed in a Development Agreement; and

WHEREAS, Chapter 5 of the LDC provides that a CLOS for the Project may be issued contingent upon the construction of the necessary public facilities and services being guaranteed in an

OR BOOK 02281 PAGES 1373 - 1429
MANATEE COUNTY CLERK COURT
57 PAGES(S)
RECORDED; 12/3/2008 1:20:20



enforceable Development Agreement pursuant to §163.3220 through §163.3243, Florida Statutes (2007); and

WHEREAS, in accordance with §163.3220, Florida Statutes, et. seq. (2007), the County is authorized to enter into a Development Agreement; and

WHEREAS, the Project to be constructed or dedicated by Applicant creates additional capacity above that required by the Project and is therefore eligible for impact fee credits; and

WHEREAS, the Applicant has agreed to relinquish its entitlement to such impact fee credits as described herein; and

WHEREAS, the Board of County Commissioners approved the Zoning and Preliminary Site Plan Application No. PDMU-07-07(Z)(P) subject to the condition that Applicant undertake certain actions as hereinafter specified and that performance of same be guaranteed in an enforceable Development Agreement as authorized by §163.3220 through §163.3246, Florida Statutes (2007); and

WHEREAS, the Manatee County Planning Commission held the first required public hearing with respect to this Development Agreement on November 13, 2008, at which time the Planning Commission found this Development Agreement to be consistent with the Manatee County Comprehensive Plan and recommended its approval to the Board of County Commissioners.

WHEREAS, the Board of County Commissioners held the second required public hearing on November 18, 2008, at which time the Board of County Commissioners found this Development Agreement to be consistent with the Manatee County Comprehensive Plan, approved this Development Agreement, and authorized the Chairman to execute this Development Agreement on behalf of Manatee County.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, the parties hereby agree as follows:

1. **Recitals True and Correct:** The recitals set forth above are true and correct and are incorporated herein by reference.

2. **Description of Development Uses:** The Project shall be developed to include a maximum of four hundred eighty-eight (488) residential units within the Project Site (two hundred sixty-six (266) single family detached units and two hundred twenty-two (222) single family attached units), eighty-six thousand one hundred square feet (86,100 ft²) of enclosed commercial space, fifty-three

thousand square feet (53,000 ft²) of enclosed office space, and community services consisting of a library and YMCA.

The Project Site was located within the general Agricultural/North Overlay District (A/NCO), Suburban Agriculture/North Central Overlay District (A-1/NCO), and Village- Parrish (VIL) Zone Districts and has now been rezoned to the PDMU Zone District retaining the North Central Overlay District where appropriate. The Project Site is within the Urban Fringe-3 (UF-3) and Residential-6 (RES-6) Future Land Use Classifications of the Comprehensive Plan.

3. **Ownership of Land Subject to Development Agreement.** A legal description of the land subject to this Development Agreement (the Project Site) is attached hereto as **Exhibit "A."** The current legal owner of the Project Site is: Parrish Plantation, LLC, a Florida limited liability company.

4. **Definitions:**

(A) "County Administrator": shall mean the County Administrator or his designee.

(B) "Concurrency Project": shall mean the dedication of road right-of-way to the County, as more specifically detailed in Section 7 below.

(C) "Project Site": shall mean the two hundred sixty-four and 44/100 (264.44) acre parcel of real property owned by Applicant.

(D) "Traffic Study": shall mean the Traffic Study entitled "Cone Property Residential Site", dated March 2005, and updated May 9, 2007, copies of which are on file at the Planning Department of County.

5. **Preliminary Site Plan:** The Applicant has submitted to the County for purposes of conceptually locating and generally describing the location of the land to be reserved or dedicated to County for public facilities and services, as described in Section 7, a Preliminary Site Plan encompassing the Project Site. Said Preliminary Site Plan was approved by the County pursuant to Zoning Ordinance No. PDMU-07-07(Z)(P) on May 24, 2007. As provided in Ordinance No. 07-59, said site plan remains valid for five (5) years following its approval. In accordance with Section 508.8.2.2 of the Land Development Code, the Board of County Commissioners, by execution of this Agreement, hereby extends the expiration of said site plan by two (2) years. Therefore, the approved Preliminary Site Plan shall expire on May 24, 2014. Applicant agrees that approval of the Preliminary Site Plan has not relieved Applicant of the requirements of the Comprehensive Plan, LDC or the requirements of all applicable codes, ordinances or regulations of the County or State of Florida for submission of any

required development approval applications. A copy of the Preliminary Site Plan is attached hereto labeled **Exhibit “B”** and made a part hereof by this reference.

6. **Description of Public Facilities:** The following public facilities and services will serve the Project:

(A) **Potable Water:** The Applicant shall be responsible for bringing Manatee County potable water to the Project Site in sufficient quantity to serve the Project as and when actually constructed via transmission lines to the Project Site at such locations mutually acceptable to the parties. The applicant shall construct the internal transmission lines and related facilities within the Project Site. The lowest permissible quality of water available shall be used for irrigation. In ground irrigation using Manatee County public potable water supply shall be prohibited, including on individual lots.

(B) **Solid Waste:** The County will provide Solid Waste Management Services to the Project Site as and when actually constructed via facilities already in place.

(C) **Storm Water Management:** Applicant shall design and construct the proposed storm water management facilities described in **Exhibit “B”** on the Project Site, in compliance with Section 717, LDC, and to County development standards and SWFWMD regulations; whereupon, the Project will meet concurrency requirements for storm water and will not result in degradation of the adopted level of service.

(D) **Sanitary Sewer:** The Applicant shall be responsible for bringing Manatee County sanitary sewer service to the Project Site in sufficient capacity to service the Project as and when actually made available via transmission lines and related facilities to be constructed by the Applicant, or in cooperation with the County pursuant to a Participation Agreement providing for a cost-sharing arrangement.

(E) **Transportation:** Transportation facilities will be dedicated by the Applicant as described in Section 7 hereof.

(F) **Recreation/Open Space:** Certain public Recreation/Open Areas will be constructed within the Project Site as described in **Exhibit “B”** and in addition, the site will contain private parks and recreational areas for the benefit of future residents of the Project Site.

7. **Dedication of Land for Public Purposes:** In accordance with §163.3227(1)(h), Florida Statutes (2007), various public facilities and services as hereinafter set forth must be provided in compliance with the conditions, terms and restrictions the County has determined to be necessary for the

public health, safety and welfare of its citizens. In furtherance thereof, the Applicant agrees to dedicate the following lands within the Project Site, for the future construction of the following public facilities and services as stated below.

(A) County Library: The Applicant shall dedicate the public library site as shown on **Exhibit "B,"** which consists of approximately 3.6 acres and includes the library, parking, and stormwater retention, ("Library Site") to Manatee County upon the request of Manatee County.

(B) Roads:

(i) U.S. 301 Right-of-Way: As depicted on the Heidt and Associates Right of Way Dedication Exhibit attached hereto and incorporated herein by reference as **Exhibit "C"** (the "Right-of-Way Exhibit") the Applicant shall dedicate to the County that portion of the western most boundary of the Project Site as is necessary to create a total of one hundred fifty and 00/100 feet (150') of right-of-way for U.S. Highway 301 adjacent to the Project as measured from the current western boundary of U.S. Highway 301 (the "U.S. 301 Expansion Right-of-Way"). The Applicant shall dedicate the U.S. Highway 301 Expansion Right-of-Way prior to or concurrent with the approval of the first Final Site Plan. The County shall have the option of requesting dedication and/or conveyance of said right-of-way for the U.S. Highway 301 Expansion at any time prior to such approval, whereupon the Applicant shall convey or dedicate to the County the required right-of-way within four (4) months of any written request.

(ii) State Road 62 Right-of-Way: The Applicant shall dedicate to the County that portion of northern most portion of its Project Site as is necessary to relocate and expand State Road 62 as depicted on the Right-of-Way Exhibit (the "S.R. 62 Right-of-Way"). The Applicant shall dedicate the State Road 62 Right-of-Way prior to or concurrent with the approval of the first Final Site Plan. The County shall have the option of requesting dedication and/or conveyance of said right-of-way for the State Road 62 Expansion at any time prior to such approval, whereupon the Applicant shall convey or dedicate to the County the required right-of-way within four (4) months of any written request.

(iii) Spencer Parrish Road Right-of-Way: The Applicant shall dedicate to the County that portion of eastern most portion of its Project Site as is necessary to expand Spencer Parrish Road as depicted on the Right-of-Way Exhibit (the "Spencer Parrish Road Right-of-Way"). The Applicant shall dedicate the Spencer Parrish Road Expansion Right-of-Way prior to or concurrent with the approval of the first Final Site Plan. The County shall have the option of requesting dedication and/or conveyance of said right-of-way for the Spencer Parrish Road Expansion at any time prior to such

approval, whereupon the Applicant shall convey or dedicate to the County the required right-of-way within four (4) months of any written request.

8. **Concurrency Findings:** The Planning Commission, in its capacity as the Local Planning Agency of the County on November 13, 2008, found that the concurrency requirements of the Comprehensive Plan and the LDC will be met for the Project regarding all of the public facilities and services described either in Section 6 or otherwise in this Agreement, provided the terms and conditions of this Agreement are undertaken and performed by the Applicant.

9. **Impact Fees:**

(A) Pursuant to Stipulation A.9. of the approved Zoning Ordinance No. PDMU-07-07(Z)(P), the County may request that the Applicant prepay, concurrent with the approval of any final plat in the project, the transportation impact fees that would come due for each lot to be created in such final plat. By execution of this Agreement, the County hereby waives its authority to request such prepayment and releases the Applicant from any such obligation.

(B) As the County will not seek prepayment of any impact fees in accordance with the above Subsection (A), the County also hereby waives the requirement in Stipulation A.9. of the approved Zoning Ordinance No. PDMU-07-07(Z)(P) that the Developer post a bond, letter of credit, or other similar surety to assure such prepayment and releases the Applicant from any such obligation.

(C) The Applicant hereby waives any entitlement it may have to transportation or other impact fee credits for dedicating the lands described in the above Section 7. Also, as the County will not seek prepayment of any impact fees in accordance with the above Subsection (A), the Applicant also hereby waives any entitlement it may have had to impact fee credits associated with the projected carrying costs of said prepayment pursuant to Stipulation A.9. of the approved Zoning Ordinance No. PDMU-07-07(Z)(P).

10. **Schedule for Construction of the Subdivision on the Project Site:** All single family residential lots shown in the Preliminary Site Plan shall be platted, and all non-residential structures shall receive a certificate of occupancy, prior to expiration of the CLOS in order to maintain vesting for purposes of the CLOS. Applicant agrees that any residential unit for which a final plat has not been approved and any non-residential structure for which a certificate of occupancy has not been issued within the time frame specified in Section 12 below may lose its vesting for purposes of concurrency as specified in this Development Agreement.

11. **Concurrency Review:** The County and Applicant agree to partition the application for CLOS submitted for the Project by the Applicant on June 21, 2005. The County shall issue a CLOS for the residential units and the library within the Project in accordance with the below Section 12. The County and Applicant shall abate any further review of the remaining components of the Project, but the County shall hold such application open with the same submittal date and consider it active until the CLOS for the residential units and the library expires as set forth in the below Paragraph 12. At any time prior to said expiration, the Applicant may request the issuance of a separate CLOS for all or any portion of the remaining components of the Project without regard to any CLOS applied for by any third party for any other development project after June 21, 2005. The County shall issue such separate CLOS and may impose such conditions as are necessary to ensure no degradation of the adopted levels of service for the public facilities for which it is being issued. The issuance of such separate CLOS shall not require an amendment to this Agreement except at the sole option of the Applicant, and the expiration of such separate CLOS shall coincide with the expiration date set forth in the below Section 12.

12. **Duration of Certificate of Level Service:** In exchange for Applicant's waiver of its impact fee credits as described in Section 9 above and the dedication of the Library Site, the County shall issue the Applicant a CLOS for all of the residential units and the library within the Project. Said CLOS shall be issued upon the effective date of this Development Agreement as specified in Section 24 and shall be conditioned only upon the Applicant complying with the terms of this Development Agreement. Said CLOS shall have an expiration date seven (7) years from the date of issuance. The initial CLOS shall be issued for the following public facilities and services: transportation, recreation/open space, solid waste and storm water. The expiration of a CLOS for any and all other public facilities shall coincide with the expiration date set forth herein.

13. **Applicable Law and Venue:** This Agreement shall be construed, and the rights and obligations of the parties hereunder shall be determined, in accordance with the laws of the State of Florida. Venue for any litigation pertaining to the subject matter hereof shall be exclusive in Manatee County, Florida unless prohibited by law.

14. **Consistency With Comprehensive Plan:** The Planning Commission in its capacity as the Local Planning Agency of the County, on May 10, 2007 specifically found that the Project, as detailed in Rezone and the Site Plan Application and this Development Agreement, are consistent with the County's Comprehensive Plan and the LDC, provided impact fee payments are secured and made, the real property is dedicated for public purposes and as long as the Concurrency Project is dedicated all according to the terms of this Development Agreement.

15. **Omission from Development Agreement:** The failure of this Development Agreement to address a particular permit, condition, term or restriction shall not relieve the Applicant of the necessity of complying with the law (inclusive without limitation the applicable provisions of the County's Comprehensive Plan or the LDC) governing said permitting requirements, conditions, terms or restrictions.

16. **Permits Required:** The following is a description of all local development permits approved or needed to be approved for the Project Site:

- Zoning Application to PDMU Zone District
- One or more Preliminary Site Plans
- One or more Final Site Plan Applications
- One or more Preliminary Plat Applications
- One or more Final Plat Applications
- One or more Applications for Special Approval in accordance with the Comprehensive Plan of Manatee County.
- One or more Applications for Specific Findings in accordance with the requirements of the LDC
- Access and Driveway Permit;
- Construction Plan approval;
- One or more Building Permit Applications and Certificate of Occupancies

17. **Disclaimer of Joint Venture:** The Applicant and the County represent that by the execution of this Development Agreement it is not the intent of the parties that this Development Agreement be construed or deemed to represent a joint venture or common undertaking between the County and the Applicant, or either, with any third party. While engaged in carrying and complying with the terms of this Development Agreement, the Applicant is an independent principal and not a contractor for or an officer or employee of the County. The Applicant shall not at any time nor in any manner represent that it or any of its agents or employees are employees of the County.

18. **Successors in Interest:** The burdens of the Development Agreement shall be binding upon, and the benefits of the Development Agreement shall inure to, all successors in interest to the parties to the Development Agreement including all mortgagees to the parties to this Development Agreement. This Development Agreement shall run with the Project Site. Notwithstanding anything in this Development Agreement to the contrary, the County shall have no responsibility or liability for any

obligations of the Applicant under this Development Agreement and the County does not assume any obligations to or for the Applicant.

19. **Amendments:** All amendments to this Development Agreement, including any such amendments extending the term of the Development Agreement, shall be ineffective unless reduced to writing and executed by the County and the Applicant, in accordance with § 163.3237 and §163.3229, Florida Statutes (2007).

20. **Applicable County Ordinances and Codes:** In accordance with §163.3233, Florida Statutes (2007), the codes, policies and ordinances of the County governing the development of the Project upon the date of execution of this Development Agreement shall govern the development of the Project for the duration of this Development Agreement. Prior to the termination of this Development Agreement in accordance with Section 29 below, the County may apply codes, policies and ordinances adopted subsequent to the execution hereof to the Project only if the County has held a public hearing and made the determinations required by the above cited Florida Statute and LDC provision. To the extent allowed by law, the Project Site shall be deemed fully vested as and when the School Board adopts a School Concurrency Plan and/ or other rules and regulations related thereto.

21. **Recording of this Agreement:** The Clerk of the Circuit Court of Manatee County, as Clerk to the Board of County Commissioners (the "Clerk") shall record this Development Agreement no later than fourteen (14) days after the execution of this Agreement by all parties in the Public Records of Manatee County, Florida. Applicant shall bear the expense of recording this Agreement. Additionally, the Clerk shall mail a recorded copy of this Agreement to the State of Florida Department of Community Affairs by certified mail, return receipt requested no later than fourteen (14) days after the recordation of this Development Agreement. The County shall record a notice in the Public Records of Manatee County to reflect the date indicated on the return receipt card to establish the date of receipt by the Department of Community Affairs.

22. **Entire Agreement:** This Development Agreement constitutes the entire agreement between the parties hereto as to the subject matter contained herein and supersedes any and all prior understandings, if any. There are no other oral or written promises, conditions, representations, understandings or terms of any kind as conditions or inducements to the execution hereof, and none have been relied upon by either party. Any subsequent conditions, representations, warranties or agreements shall not be valid and binding upon the parties unless they are in writing signed by both parties and executed in the same manner as this Development Agreement.

23. **Severability.** In the event any term or provision of this Development Agreement shall be held invalid by a Court of competent jurisdiction, such invalid term or provision should not affect the validity of any term or provision hereof; and all such terms and provisions hereof shall be enforceable to the fullest extent permitted by law as if such invalid term or provision had never been part of this Development Agreement; provided, however, if any term or provision of this Agreement is held to be invalid due to the scope or extent here thereof, then, to the extent permitted by law, such term or provision shall be automatically deemed modified in order that it may be enforced to the maximum scope and extent permitted by law.

24. **Effective Date.** This Agreement shall become effective immediately upon the occurrence of all the following:

(A) The recordation of a fully executed original of this Agreement in the official records of Manatee County, Florida, at the expense of Applicant;

(B) The expiration of any and all appeal periods for any challenge to the approval of the Rezone and Preliminary Site Plan Application or this Agreement; and

(C) Thirty (30) days have expired since a copy of this Agreement has been received by the State Land Planning Agency pursuant to §163.3239, Florida Statutes.

25. **Parties Drafted Equally.** The County and Applicant agree that both parties have played an equal and a reciprocal part in drafting this Agreement. Therefore no provision of this Agreement shall be construed by a Court or judicial authority against any party hereto because such party is deemed to have drafted or structured such provisions.

26. **Annual Monitoring.** During the term of this Development Agreement, the Applicant shall file an annual monitoring report relating to the Project site with the County's Planning Director consistent with the requirements of Chapter 5 of the LDC. The first such report shall be filed one year from the effective day of this Development Agreement as defined herein.

27. **Notices:** All notices, demands, requests for approvals or other communications given by either party to another shall be in writing and shall be sent by registered or certified mail, postage prepaid, return receipt requested or by a recognized national overnight courier service, or by hand delivery to the office of each party indicated below and addressed as follows:

To Applicants:

Parrish Plantation, LLC
4315 Pablo Oaks Court, Suite 1

Jacksonville, FL 32224
Attention: John C. Kunkel

R. Scott Griffith
10329 Cross Creek Boulevard
Suite M
Tampa, Florida 33647

With a Copy to:

Grimes Goebel Grimes Hawkins
Gladfelter & Galvano, PL
Attn: Caleb J. Grimes, Esquire
1023 Manatee Avenue West
Bradenton, FL 34205

To County:

County Administrator / Manatee County
P.O. Box 1000
Bradenton, FL 34206

With a Copy to:

County Attorney / Manatee County
P.O. Box 1000
Bradenton, FL 34206

28. **Survival of Warranties, Representations:** The warranties, representations, covenants and obligations of the parties hereto shall be binding upon the parties and their respective successors in interest.

29. **Termination:** This Development Agreement shall automatically terminate and expire upon the occurrence of the first of the following:

(A) The full performance by all parties hereto of each and every one of their respective obligations arising under the terms of this Development Agreement.

(B) The expiration of ten (10) years from the effective date of this Agreement.

(C) The expiration of any Certificate of Level of Service (CLOS) as enumerated in this Development Agreement.

(D) The revocation of this Development Agreement by the Board in accordance with §163.3235, Florida Statutes (2007).

(E) The execution of a written agreement by all parties, or their successors in interest, providing for the cancellation and termination of this Development Agreement.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, by and through their duly authorized representatives.



ATTEST: R.B. SHORE,
Clerk of the Circuit Court

By: Susan D. Roman
Deputy Clerk

MANATEE COUNTY, FLORIDA
By: Board of County Commissioners

By: Brenda Lynn Brown
Approved: 11/18/08
Executed: 12/2/08

PARRISH PLANTATION, LLC, a
Florida limited liability company

By: R. Scott Griffith
R. Scott Griffith, President

WITNESSES:

Elizabeth Sartin
Print Name: Elizabeth Sartin
Michael A. Eden
Print Name: Michael A. Eden

STATE OF FLORIDA
COUNTY OF Hillsborough

The foregoing instrument was acknowledged before me this 21 day of Nov, 2008, by R. Scott Griffith, as President of Parrish Plantation, LLC, on behalf of the limited liability company. He is personally known to me and did not take an oath.

(Seal)



MICHAEL A. EDEN
NOTARY PUBLIC - STATE OF FLORIDA
COMMISSION 0 00000000
EXPIRES 01/20/10
#000000000000000000

Michael A. Eden
Notary Public, State of Florida

Print Name: MICHAEL A EDEN

Exhibit "A"

Legal Description of the Project Site

(4 Pages)

(Cone Tract)

Parcel 1

The Northwest 1/4, LESS the South 330 feet of the Southeast 1/4 of the Northwest 1/4, LESS Parrish-Wauchula Road off the North, LESS 27 acres deeded to King and as described in O.R. Book 70, Page 313, LESS 20 acres deeded to Parrish and as described in O.R. Book 76, Page 54, and LESS Manatee Agricultural Reuse Supply, Reclaimed Water Parcel No. 102, as described in O.R. Book 1958, Pg. 4459 (Stipulated Order of Taking Case No. 2004-CA-4977), of the Public Records of Manatee County, Florida, all lying in Section 28, Township 33 South, Range 19 East, of the public records of Manatee County, Florida.

AND

The East 1/2 of the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4, LESS Lot 4 of JOHN PARRISH'S SUBDIVISION of 840 feet square in the Northwest corner of the Northwest 1/4 of the Northeast 1/4, according to the map or plat thereof as recorded in Plat Book 1, Page 262, of the public records of Manatee County, Florida; and LESS BEGIN 40 feet East and 30 feet North of the Southwest corner of the Northwest 1/4 of the Northeast 1/4; thence North 58.8 feet; thence East 120 feet; thence South 59 feet; thence West 120 feet to the Point of Beginning, or being Lots 19 and 20, Block 4, Parrish City Manor, according to the map or plat thereof as recorded in Plat Book 4, Page 138 - a vacated plat, of the public records of Manatee County, Florida; also BEGIN at the Northeast corner of the Southwest 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida, thence West 884.4 feet, South 42.4 feet, thence East 884.4 feet and North 41 feet to the Point of Beginning; and LESS the South 1/2 of the Southeast 1/4 of the Northeast 1/4 deeded to King and described in O.R. Book 70, Page 313, Public Records of Manatee County, Florida, and; Less right-of-way for State Road 62, all lying in Section 29, Township 33 South, Range 19 East, Manatee County, Florida.

(Hysmith Tract)

Parcel 1:

Commence at the Northeast corner of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida; thence S88°20'29"E, along the Easterly extension of the North line of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of said Section 29, a distance of 528.06 feet for a Point of Beginning; thence continue S88°20'29"E, along said North line 801.87 feet to the East line of the Southwest 1/4 of the Northwest 1/4 of Section 28, Township 33 South, Range 19 East; thence S00°28'45"W, 921.92 feet to the Southeast corner of the Southwest 1/4 of the

Northwest 1/4 of said Section 28; thence N89°24'00"W, along the South line of the Southwest 1/4 of the Northwest 1/4 of said Section 28, 803.13 feet; thence N00°34'00"E, 936.73 feet to the Point of Beginning.

Parcel 2:

Begin at the Northeast corner of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida; thence S88°20'29"E, along the Easterly extension of the North line of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of said Section 29, a distance of 528.06 feet; thence S00°34'00"W, 468.37 feet; thence N88°52'14"W, 527.99 feet to the West line of Section 28, Township 33 South, Range 19 East, thence N00°34'00"E, along said West line 473.25 feet to the Point of Beginning.

Parcel 3:

Commence at the Northeast corner of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida, thence S00°34'00"W, along the West line of Section 28, Township 33 South, Range 19 East, a distance of 473.25 feet for a Point of Beginning; thence continue S00°34'00"W, along said West line 473.25 feet to the Southwest corner of the Southwest 1/4 of the Northwest 1/4 of said Section 28; thence S89°24'00"E, along the South line of the Southwest 1/4 of the Northwest 1/4 of said Section 28, 527.97 feet; thence N00°34'00"E, 468.37 feet; thence N88°52'14"W, 527.99 feet to the Point of Beginning.

LESS AND EXCEPT from above Parcels 1 and 3:

DESCRIPTION: A parcel of land lying in Southwest 1/4 of the Northwest 1/4 of Section 28, Township 33 South, Range 19 East, Manatee County, Florida, and being more particularly described as follows:

COMMENCE at the Northwest corner of said Section 28, run thence along the West boundary of said Section 28, S.00°05'49"E., 2789.17 feet for a POINT OF BEGINNING; thence along a line lying 300.00 feet North of and parallel with the South boundary of the Southwest 1/4 of the Northwest 1/4 of said Section 28, N.89°50'49"E., 345.00 feet; thence along a line lying 345.00 feet East of and parallel with aforesaid West boundary of Section 28, S.00°05'49"E., 70.17 feet; thence S.89°39'54"E., 986.68 feet to the East boundary of aforesaid Southwest 1/4 of the Northwest 1/4 of Section 28; thence along said East boundary of said Southwest 1/4 of the Northwest 1/4 of Section 28, S.00°06'06"E., 221.43 feet to the Southeast corner thereof; thence along the South boundary of said Southwest 1/4 of Northwest 1/4 of Section 28, S.89°50'49"W., 1331.29 feet to the Southwest corner thereof; thence along the West boundary of aforesaid Section 28 the following two (2) courses: 1) N.00°11'27"W., 232.77 feet to the Southeast

corner of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida; 2) N.00°05'49"W., 67.23 feet to the POINT OF BEGINNING.

All of the above being more particularly described as follows:

DESCRIPTION: A parcel of land lying in Southwest 1/4 of the Northwest 1/4 of Section 28, Township 33 South, Range 19 East, Manatee County, Florida, and being more particularly described as follows:

COMMENCE at the Northwest corner of said Section 28, run thence along the West boundary of said Section 28, S.00°05'49"E., 2142.30 feet to the Northeast corner of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 29, Township 33 South, Range 19 East, Manatee County, Florida, for a POINT OF BEGINNING; thence along the Easterly extension of the North boundary of aforesaid South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 29, as found monumented, S.89°07'19"E., 1331.78 feet to the East boundary of the Southwest 1/4 of the Northwest 1/4 of aforesaid Section 28; thence along said East boundary of the Southwest 1/4 of the Northwest 1/4 of Section 28, S.00°06'06"E., 701.48 feet; thence N.89°39'54"W., 986.68 feet; thence along a line lying 345.00 feet East of and parallel with aforesaid West boundary of Section 28, N.00°05'49"W., 70.17 feet; thence along a line lying 300.00 feet North of and parallel with the South boundary of aforesaid Southwest 1/4 of the Northwest 1/4 of Section 28, S.89°50'49"W., 345.00 feet to aforesaid West boundary of Section 28; thence along said West boundary of Section 28, N.00°05'49"W., 646.87 feet to the POINT OF BEGINNING.

Containing 21.093 acres, more or less.

(Parrish Tract)

Beginning at a point found by measuring from the Southeast corner of the Northwest 1/4 of Section 28, Township 33 South, Range 19 East; North along the East line of said Northwest 1/4, 330 feet more or less to the Northeast corner of Preston Parrish 10 acre tract; this being the above mentioned Point of Beginning; thence continue along said East line of the Northwest 1/4, 660 feet; thence Westerly along a line parallel to the North line of Preston Parrish said 10 acre tract, 1320 feet; thence southerly 660 feet to the Northwest corner of said Preston Parrish tract; thence Easterly along the North line of said Preston Parrish tract 1320 feet more or less to the Point of Beginning, Less road right-of-way on East, all lying and being in Manatee County, Florida.

AND

The South 330 feet of the Southeast 1/4 of the Northwest 1/4: less Road right-of-way on East, Section 28, Township 33 South, Range 19 East, Manatee County, Florida.

Exhibit "B"

Preliminary Site Plan

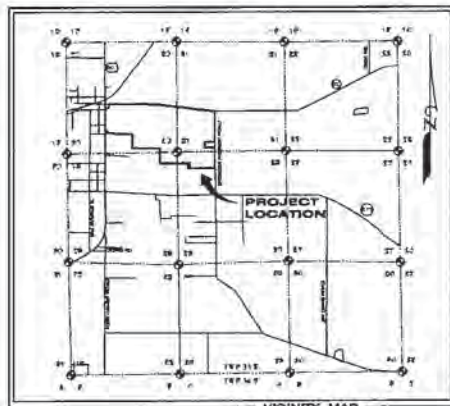
(37 Pages)



PRELIMINARY SITE PLAN PARRISH PLANTATION SUBDIVISION MANATEE COUNTY, FLORIDA

INDEX OF PLANS

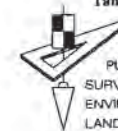
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	AERIAL SITE PLAN
4	MASTER SITE PLAN
5-33	PRELIMINARY SITE PLAN
34	TYPICAL ROADWAY SECTION & DETAILS
TP1 & LP1	TREE REPLACEMENT AND PRESERVATION PLAN
LP1 & LP2	PRELIMINARY LANDSCAPE PLAN



VICINITY MAP
MANATEE COUNTY, FLORIDA
SECTION 28, TOWNSHIP 33 SOUTH, RANGE 19 EAST
(SCALE 1" = 1/4 MILE)

By Award Only
PARRISH PLANTATION, LLC
10329 Cross Creek Boulevard
Tampa, Florida 33647
Phone: (813) 973-2400

By Award Only
Engineering Business Certificate of Authorization No. 148
HEIDT & ASSOCIATES, Inc.
Tampa • Fort Myers • Sarasota-Manatee



CIVIL ENGINEERING
PLANNING
SURVEYING
ENVIRONMENTAL PERMITTING
LANDSCAPE ARCHITECTURE

Sarasota-Manatee Office
2943 Cross Creek Blvd. #107
University Park, FL 34201-1142
Phone: (813) 973-1101
Fax: (813) 973-1102

ZONING PETITION # PGR-05-007
PARCEL ID # _____

Approved For: Preliminary Site Plan		Project Name: PARRISH PLANTATION	
APPROVED	DATE	FILE NUMBER	
Project Planner (PO)			
Project Engineer (PE)			
Engineer-in-Charge (EIC)			
Material Witness (MW)			
Environmental Analyst			
File Director			
Demolition Agent			
PARRISH PLANTATION SUBDIVISION			
DATE: 04-01-2007 JOB NO: SGP-CM-003			
BRIAN D. CALE, FLORIDA PROFESSIONAL ENGINEER 55530			
SIGNED BY: CALE DATE: 04-01-2007			
DRAWN BY: SCOTT CHECKED BY: CALE			
DATE: 04-01-2007			
SHEET 1 OF 24			

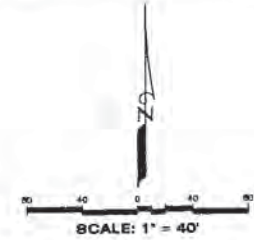
REVISIONS
NO. DATE DESCRIPTION
1 04-01-2007

PERMIT / FILE NO.

ADDRESS CORRECTION NO.	
WATER CORRECTION	
SEWER CORRECTION	
STORMWATER	
WATER DCP	
SEWER DCP	
FILED	

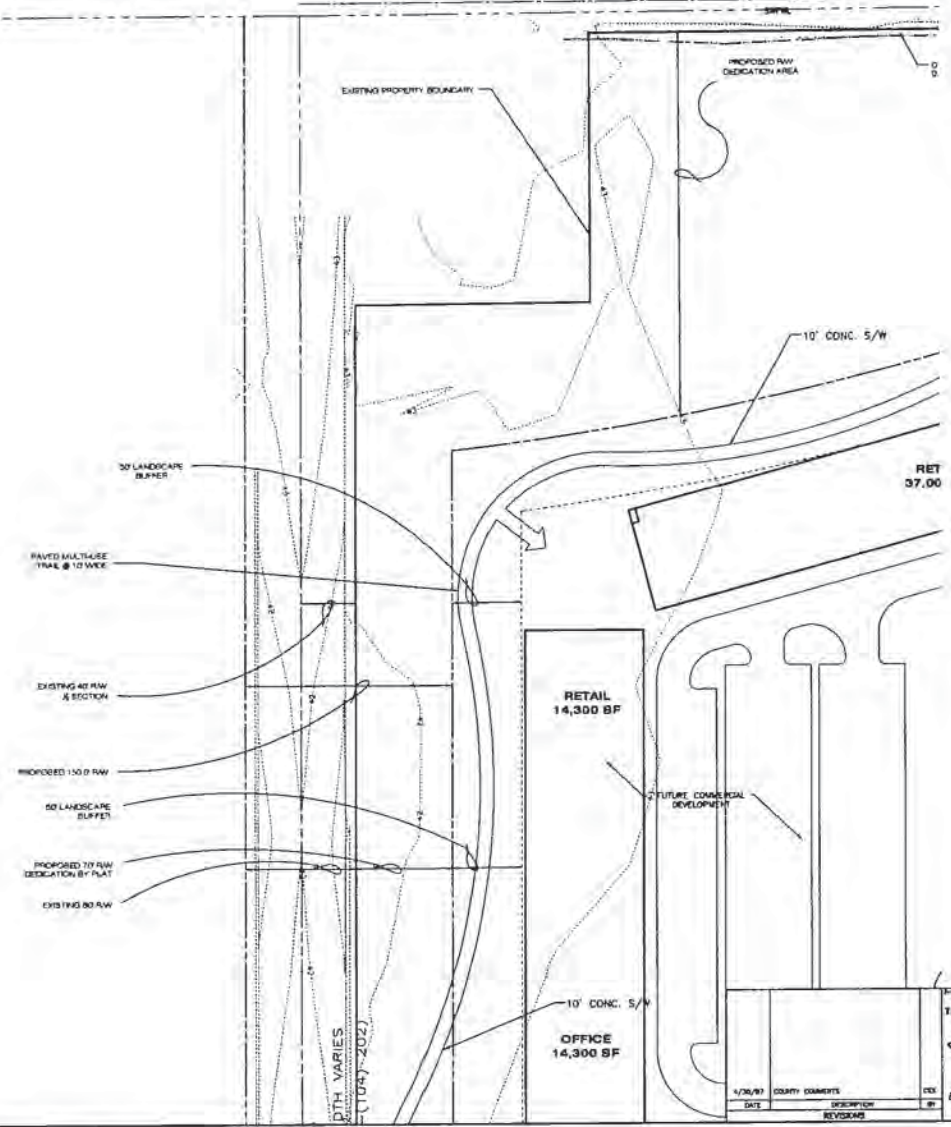
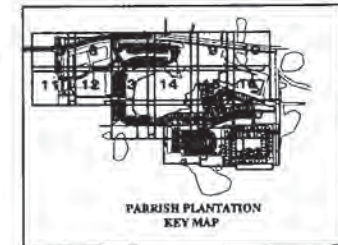
NOTE: 100% STORMWATER TREATMENT IS BEING PROVIDED FOR STORMWATER FACILITIES WITHIN THE SAME CREEK WATERSHED PROTECTION OVERLAY DISTRICT.

LAND USE: RES-10
ZONING: VL (VILLAGE)



LEGEND

- | EXISTING | PROPOSED | |
|----------|----------|------------------------------|
| | | STORM DRAINAGE STRUCTURE |
| | | STRUCTURE NO. |
| | | ELEVATION |
| | | CENTERLINE |
| | | DIRECTION OF SURFACE FLOW |
| | | UNDERGROUND WITH CLEARANCE |
| | | SITE BOUNDING LOCATION |
| | | STORM CONTROL |
| | | PROPOSED PROJECT LIMITS |
| | | EPC WETLAND LINE |
| | | WETLAND BUFFER LINE |
| | | TREES TO BE REMOVED |
| | | TREES TO BE PROTECTED |
| | | POWER LINE |
| | | LOT CORNER |
| | | NO BUILDING |
| | | NO STORAGE TANK |
| | | NONIMPACTED W.L./O.S.W. AREA |
| | | IMPACTED O.S.W. AREA |
| | | POSSIBLE W.L. WETLAND AREA |
| | | ELEVATED BOARDWALK AT 5'W |

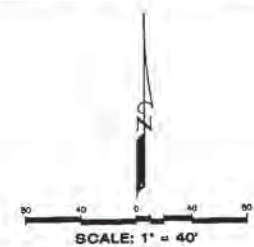
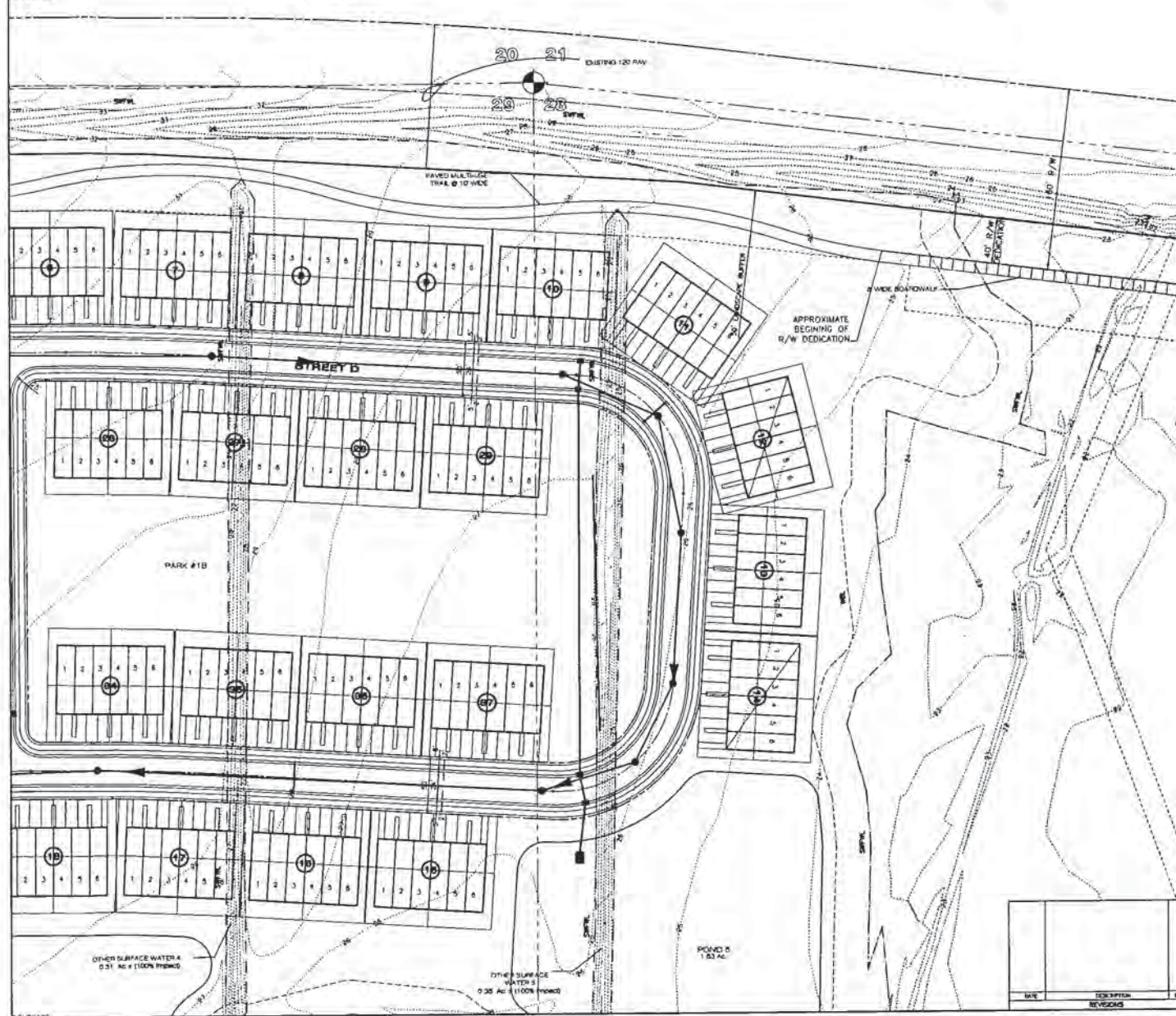


4/26/23 COUNTY COMMENTS DATE DESCRIPTION REVISIONS		PRELIMINARY SITE PLAN PARRISH PLANTATION	
PREPARED BY: HEDY & ASSOCIATES, INC. DESIGNER: CARSON CHECKER: CARSON DATE: 04-01-23 FILE: M001		PROJECT NO.: PARRISH PLANTATION, LLC SHEET 5 OF 24 SHEETS	

PARRISH PLANTATION, LLC
 11111 N. W. 111th St., Suite 100
 Fort Myers, FL 33907
 Phone: 813-291-1111
 Fax: 813-291-1112

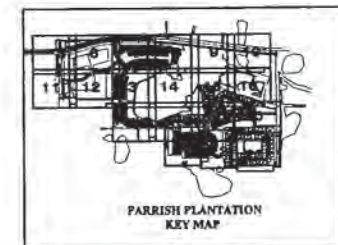
BY EXHIBITION
SECTION
OF THIS PLAN

120' RIGHT-OF-WAY



LEGEND

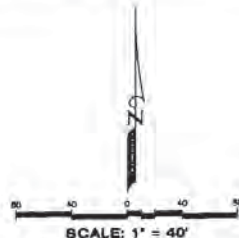
- | EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|-------------------------------|
| | | STORM DRAINAGE STRUCTURE |
| | | STRUCTURE NO. |
| | | ELEVATION |
| | | CONTOUR |
| | | DIRECTION OF SURFACE FLOW |
| | | UNDERGROUND WITH CLEARANCE |
| | | SOIL BORING LOCATION |
| | | STAKED EROSION CONTROL |
| | | PROPOSED PROJECT LIMITS |
| | | 5% WETLAND LINE |
| | | WETLAND BUFFER LINE |
| | | TREES TO BE REMOVED |
| | | TREES TO BE PROTECTED |
| | | PROPOSED FUTURE STRUCTURE |
| | | LOT NUMBER |
| | | RIGHT-OF-WAY |
| | | EASEMENT |
| | | NONIMPACTED R.L./D.S.W. AREAS |
| | | IMPACTED D.S.W. AREA |
| | | POSSIBLE R.L. MITIGATION AREA |
| | | ELEVATED BOARDWALK AT S.W. |



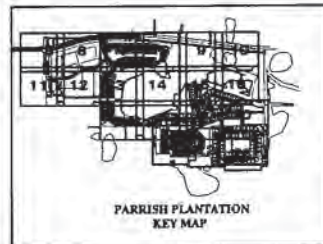
<p>LEGEND: Storm Drainage Structure</p> <p>STRUCTURE NO.</p> <p>ELEVATION</p> <p>CONTOUR</p> <p>DIRECTION OF SURFACE FLOW</p> <p>UNDERGROUND WITH CLEARANCE</p> <p>SOIL BORING LOCATION</p> <p>STAKED EROSION CONTROL</p> <p>PROPOSED PROJECT LIMITS</p> <p>5% WETLAND LINE</p> <p>WETLAND BUFFER LINE</p> <p>TREES TO BE REMOVED</p> <p>TREES TO BE PROTECTED</p> <p>PROPOSED FUTURE STRUCTURE</p> <p>LOT NUMBER</p> <p>RIGHT-OF-WAY</p> <p>EASEMENT</p> <p>NONIMPACTED R.L./D.S.W. AREAS</p> <p>IMPACTED D.S.W. AREA</p> <p>POSSIBLE R.L. MITIGATION AREA</p> <p>ELEVATED BOARDWALK AT S.W.</p>		<p>PRELIMINARY SITE PLAN</p> <p>PARRISH PLANTATION</p> <p>DESIGN: CANTON</p> <p>PREPARED BY: PARRISH PLANTATION, L.L.C.</p> <p>DATE: 04-01-07</p> <p>FILE: 0004</p> <p>SHEET 8 OF 24 SHEETS</p>
---	--	--

ZONING A (GENERAL AGRICULTURE)
LAND USE 1A-1

E ROAD 82
- WAUCHULA ROAD)
MAP SECTION 13060-2501)
D' RIGHT-OF-WAY
PAVEMENT WIDTH VARIES

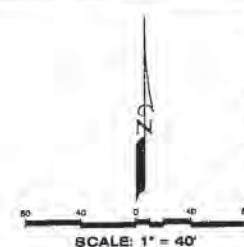
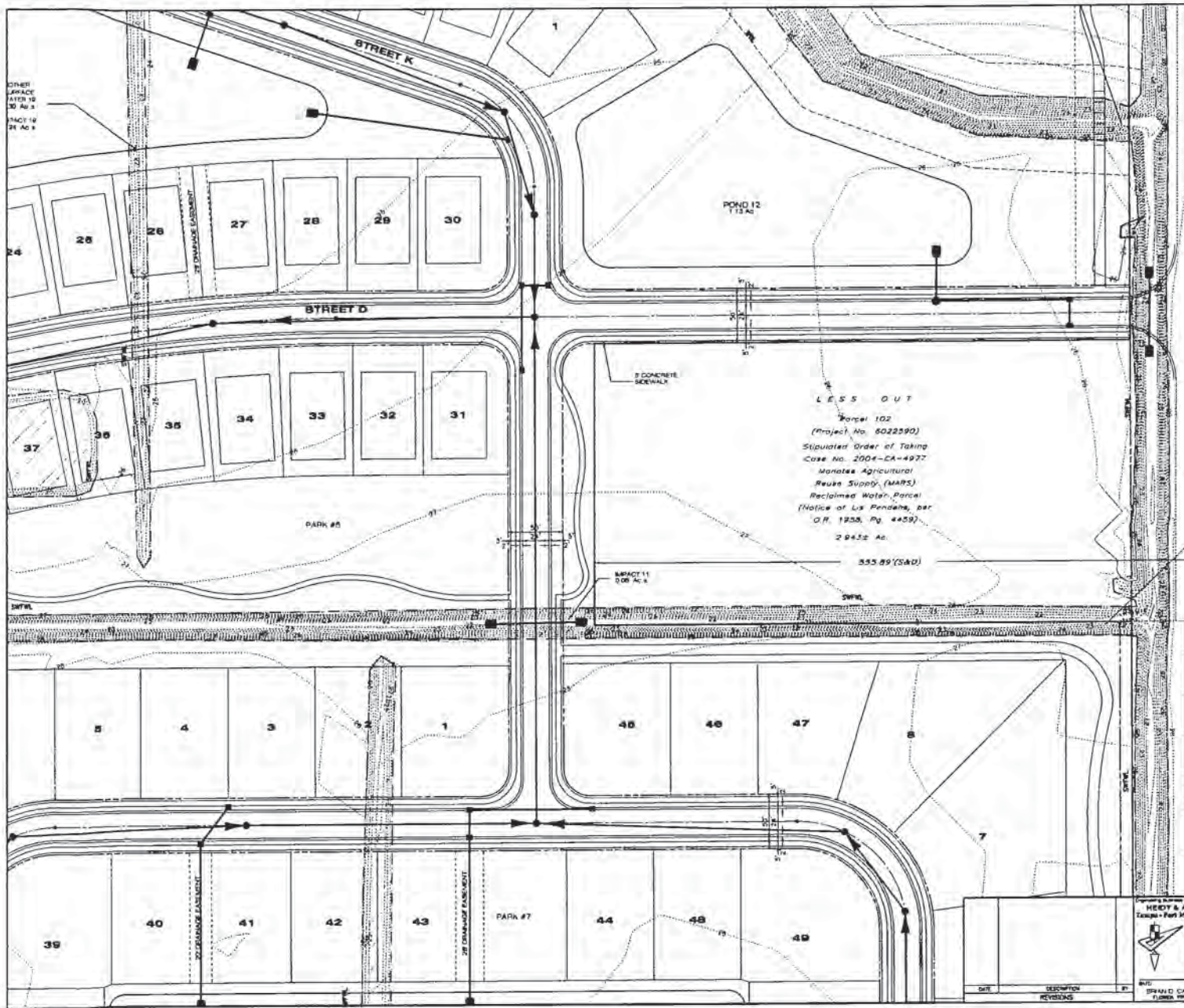


LEGEND

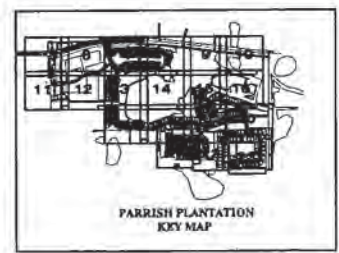
[illegible]

PARRISH PLANTATION
KEY MAP

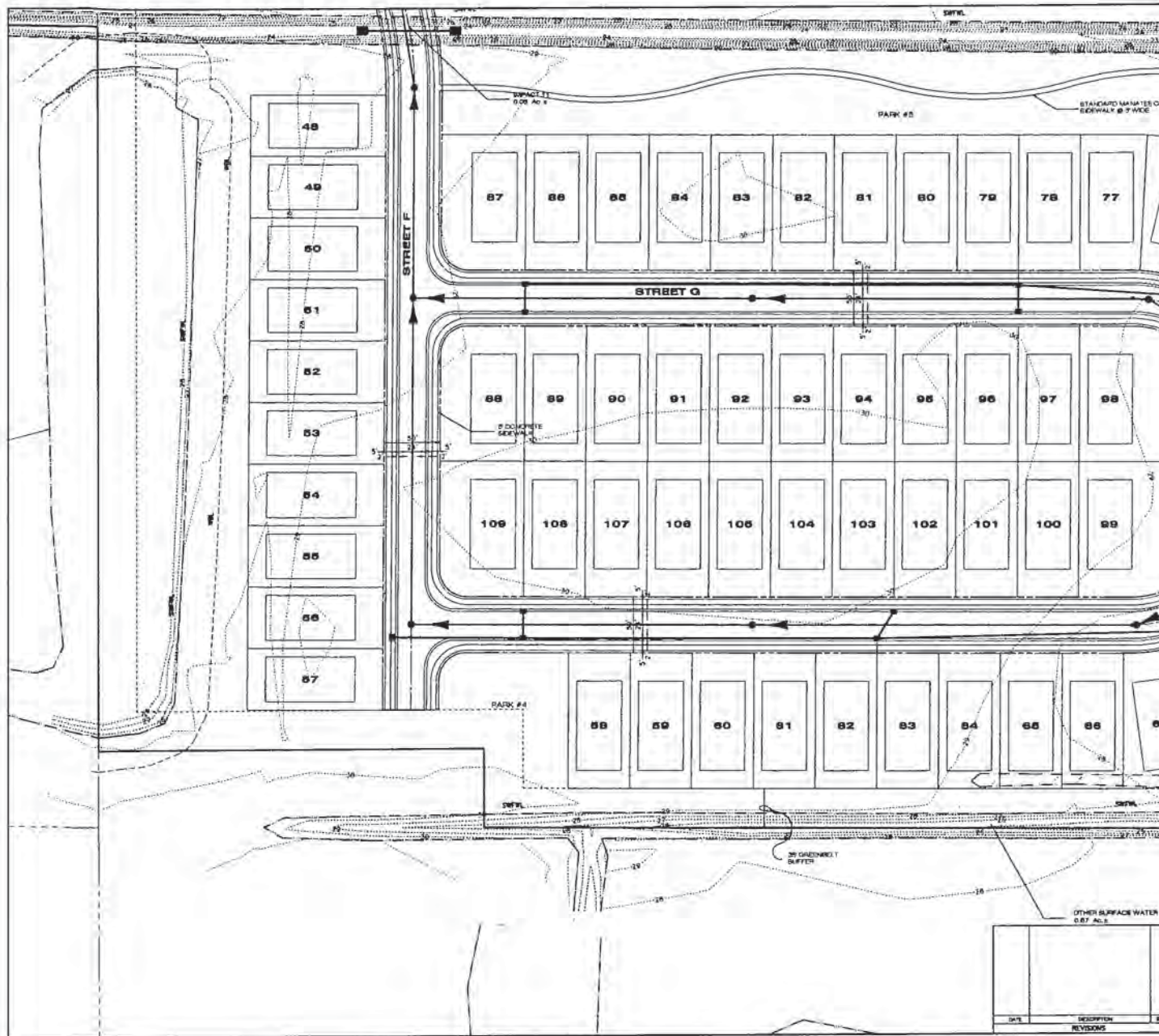
[illegible]

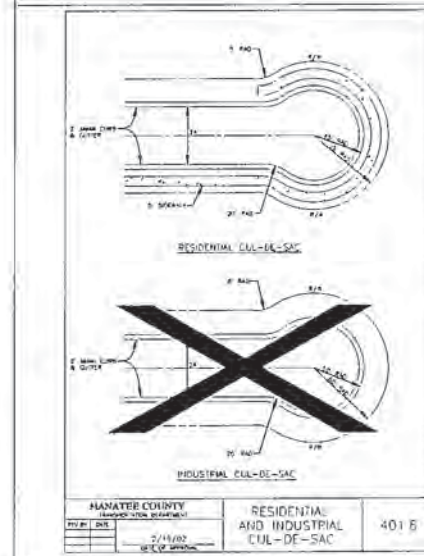
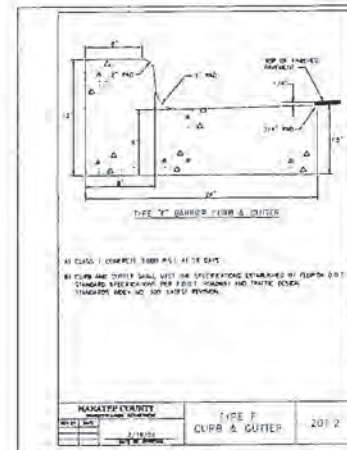
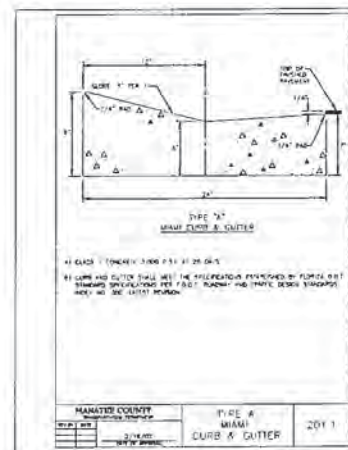
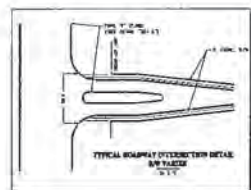
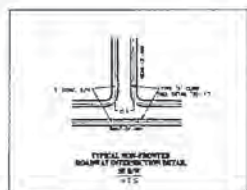
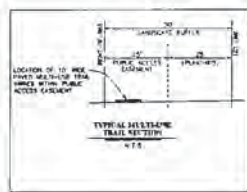
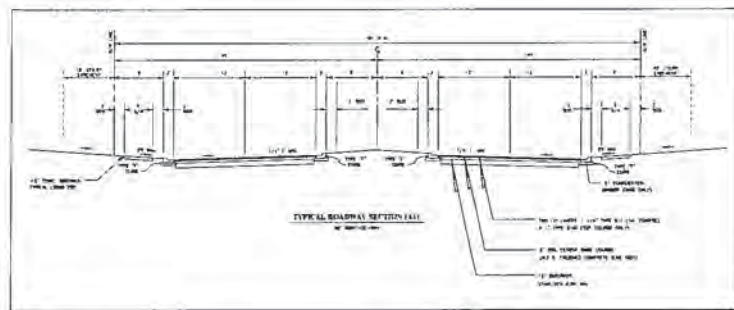
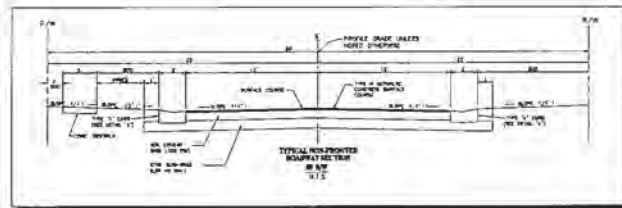


LEGEND	
EXISTING	PROPOSED
SPUR DRAINAGE STRUCTURE	SPUR DRAINAGE STRUCTURE
STRUCTURE NO.	STRUCTURE NO.
ELEVATION	ELEVATION
CONTOUR	CONTOUR
DIRECTION OF SURFACE FLOW	DIRECTION OF SURFACE FLOW
UNDERGROUND WITH CLEAROUT	UNDERGROUND WITH CLEAROUT
SOIL BORING LOCATION	SOIL BORING LOCATION
STANDARD EROSION CONTROL	STANDARD EROSION CONTROL
WITHIN PROJECT LIMITS	WITHIN PROJECT LIMITS
ONE WITHIN LINE	ONE WITHIN LINE
WITHIN BUFFER LINE	WITHIN BUFFER LINE
TREES TO BE REMOVED	TREES TO BE REMOVED
TREES TO BE PROTECTED	TREES TO BE PROTECTED
10'-15' LOT IN	10'-15' LOT IN
UP RAMP	UP RAMP
DOWN RAMP	DOWN RAMP
UP RAMP	UP RAMP
DOWN RAMP	DOWN RAMP
NONIMPACTED W.L./O.S.W. AREA	NONIMPACTED W.L./O.S.W. AREA
IMPACTED O.S.W. AREA	IMPACTED O.S.W. AREA
POSSIBLE W.L. INTERFERED AREA	POSSIBLE W.L. INTERFERED AREA
ELEVATED BOARDWALK AT S.W.	ELEVATED BOARDWALK AT S.W.

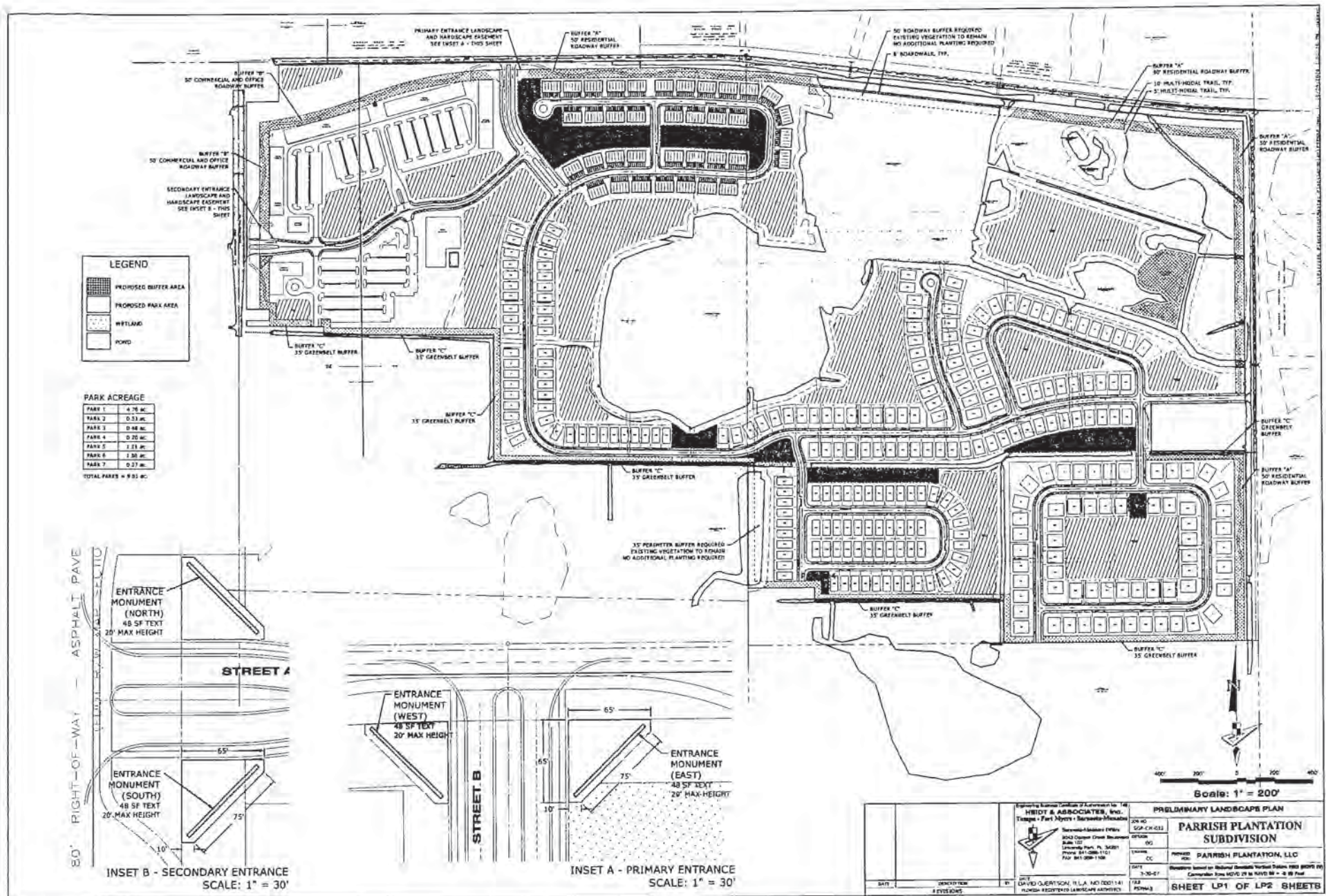


PRELIMINARY SITE PLAN PARRISH PLANTATION	
DATE: 04-01-07 DRAWN BY: SCOTT CHECKED BY: CARSON PROJECT NO.: PARRISH PLANTATION, LLO SHEET NO.: 20 OF 24 SHEETS	HEDY & ASSOCIATES, INC. 10000 E. 1st Avenue, Suite 100 Denver, CO 80231 PHONE: 303-755-1177 FAX: 303-755-1102





Engineering HEIDT & ASSOCIATES, INC. Tampa • Fort Myers • Sarasota • Bradenton 10000 Highway 19 Suite 101 Lakewood Ranch, FL 34201 Phone 813-961-1111 Fax 813-961-1112		TYPICAL ROADWAY SECTION AND DETAILS FOR NO. DESIGN DRAWN CHECKED DATE 04-01-07 SHEET 24 OF 24 SHEETS
Client PARRISH PLANTATION, LLC 1000 Highway 19 Suite 101 Lakewood Ranch, FL 34201 Phone 813-961-1111 Fax 813-961-1112		Project PARRISH PLANTATION, LLC 1000 Highway 19 Suite 101 Lakewood Ranch, FL 34201 Phone 813-961-1111 Fax 813-961-1112



PRELIMINARY SITE PLAN BUFFER AREA LANDSCAPE

SCIENTIFIC NAME	COMMON NAME	GAL.	HT.	SPR.	SIZE	COMMENTS
CANOPY TREES						
(Q1) <i>Quercus virginiana</i>	Live Oak	3"	12' MIN.	5' MIN.	85 GAL.	6 C.T. - MAIN CENTRAL LEADY, UNDERSTORY
(M) <i>Magnolia grandiflora</i>	Magnolia	3"	12' MIN.	5' MIN.	85 GAL.	6 C.T. - MAIN CENTRAL LEADY, UNDERSTORY
(F) <i>Fraxinus floridana</i>	Florida Red Bay	3"	12' MIN.	5' MIN.	85 GAL.	6 C.T. - MAIN CENTRAL LEADY, UNDERSTORY
(Q2) <i>Quercus virginiana</i>	Live Oak	3"	14'-18'	10'-12'	85 GAL.	7 C.T. - MAIN CENTRAL LEADY, UNDERSTORY
UNDERSTORY TREES						
(C) <i>Citrus aurantium</i>	Orange	2"	8' MIN.	3' MIN.	45 GAL.	6 C.T. - MAIN CENTRAL LEADY, UNDERSTORY
(G) <i>Gardenia jasminoides</i>	Catclaw Tree	2"	8' MIN.	3' MIN.	45 GAL.	6 C.T. - MAIN CENTRAL LEADY, UNDERSTORY
(P) <i>Platanus racemosa</i>	Cottonwood	2"	8' MIN.	3' MIN.	45 GAL.	6 C.T. - MAIN CENTRAL LEADY, UNDERSTORY
SHRUBS						
(S) <i>Sabal palmetto</i>	Cabbage Palm	14"			200	
ADDITIONAL TREES						
(V) <i>Viburnum coccineum</i>	Sweet Viburnum	10"-14"	10'-12'	3' MIN.	3 GAL.	1000
(S) <i>Stenandrium americanum</i>	St. Augustine					1000
(B) <i>Bursera floridana</i>	Bursera					1000
(P) <i>Pinus palustris</i>	Pinus					1000

PRELIMINARY PLANT MATERIAL QUANTITIES

DESIGNATED LANDSCAPE AREA	LENGTH	CANOPY TREE REQUIRED/PROVIDED	UNDERSTORY TREE REQUIRED/PROVIDED	SHRUB REQUIRED/PROVIDED
Buffer A: 50' Residential Roadway Buffer (3 Canopy Trees, 6 Evergreen Trees, 30 Shrubs per 100 L.F.)	4,872 L.F.	147 / 147	294 / 294	1,815 / 1,815
Buffer B: 50' Commercial & Office Roadway Buffer (3 Canopy Trees, 6 Evergreen Trees, 30 Shrubs per 100 L.F.)	1,100 L.F.	153 / 153	306 / 306	1,815 / 1,815
Buffer C: 25' Greenbelt Buffer (3 Canopy Trees, 30 Shrubs per 100 L.F.)	10,387 L.F.	312 / 312	624 / 624	3,624 / 3,624
Common Area Street Trees (Designated Provided 1 tree per 50')	7,114 L.F.	152 / 152	N/A	N/A
Buffer Street Trees (1 Shrub per 100' - 1 tree per 50')	22,432 L.F.	449 / 449	N/A	N/A
TOTALS		1,213 / 1,213	800 / 800	6,724 / 6,724

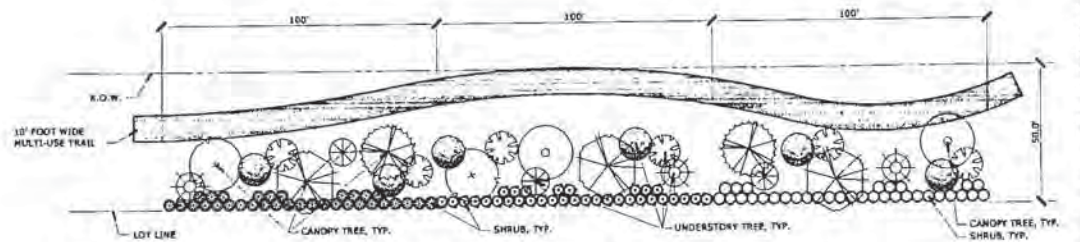
Note: Canopy Trees which count as Understory Trees.

LANDSCAPE NOTES

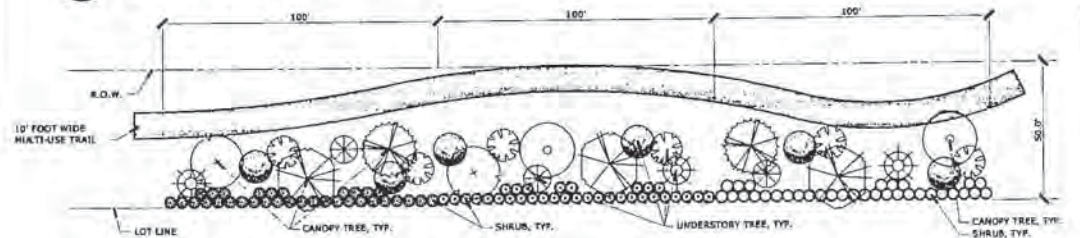
- ALL PLANT MATERIAL USED TO MEET THE REQUIREMENTS OF THIS PLAN SHALL MEET THE STANDARDS FOR FLORIDA GRADE NO. 1 AS DEFINED IN "GRADING AND STANDARDS FOR HUNTER PLANTS, STATE OF FLORIDA, DEPT. OF AGRICULTURE" OR BETTER.
- ALL PLANT MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH STANDARD HORTICULTURAL METHODS AND STANDARDS.
- A 1" LAYER OF SACKED MULCH SHALL BE APPLIED TO ALL PLANTING AREAS WITH TREES, SHRUBS, GRASSCOVER, AND VINES.
- TREES SHALL NOT BE LOCATED WHERE THEY WILL OBSTRUCT SAFETY LIGHTING WITHIN PARKING AREAS, TREE SIZE AT INSTALLATION AND AT MATURITY SHALL BE CONSIDERED.
- TREES SHALL NOT BE LOCATED TO OBSTRUCT CLEAR SIGHT LINES AS DEFINED BY HAWAII COUNTY LOC 111.5 VISIBILITY TRIANGLES.
- TREES AND SHRUBS SHALL NOT BE PLANTED IN AN AREA THAT WILL OBSTRUCT POSITIVE WATER FLOW THROUGH DRAINAGE SWALES OR BASINMENTS.
- ALL PROPOSED PLANTING AREAS SHALL BE WATERED BY A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED TO PROVIDE 100% COVERAGE.
- IRRIGATION SYSTEM SHALL USE THE LOWEST WATER QUALITY AVAILABLE.
- IRRIGATION SYSTEM TO INCLUDE A WATER CONSERVATION RADII SENSOR.
- NO MORE THAN 40% OF ALL REQUIRED TREES MAY BE PALM TREES. WHEN USED, (7) PALM TREE GROUPINGS SHALL ACCOUNT FOR (1) CANOPY TREE.
- RESIDENTIAL STREET TREES SHALL BE PLANTED 1 CANOPY TREE PER 50 FT. TREES SHALL BE PLANTED WITHIN 25' OF THE RIGHT OF WAY. PALMS MAY BE USED TO MEET THIS REQUIREMENT IF THEY ARE PLANTED IN GROUPS OF 2. TWO PALM TREES SHALL BE USED TO EQUAL 1 REQUIRED RESIDENTIAL STREET TREE. NO MORE THAN 20% OF PROPOSED RESIDENTIAL STREET TREES MAY BE PALMS.
- VEHICULAR USE AREAS OVER 1000 S.F. SHALL BE LANDSCAPED IN ACCORDANCE WITH HAWAII COUNTY LOC 111.5.3.1. A MINIMUM 300 S.F. AREA OF PLANTING SHALL BE PROVIDED. PLANTING AREA SHALL INCLUDE A MINIMUM 4 CANOPY TREES AND 20 SHRUBS PER 20 PARKING SPACES. IF ONE GALLON SHRUBS ARE USED, 40 SHRUBS PER 20 PARKING SPACES SHALL BE REQUIRED.
- PLANTINGS SHALL CONSIST OF 30% NONNATIVE NATIVE SPECIES.
- CANOPY TREES SHALL BE A MINIMUM OF 12' HT., 3" CAL. AND 5' SPREAD AT INSTALL.
- UNDERSTORY TREES SHALL BE A MINIMUM OF 6' HT. AND 2" CAL. AND 3' SPREAD AT INSTALL.
- PALM TREES SHALL BE 12' OVERALL HEIGHT (10' C.T.) AT INSTALLATION.
- SHRUB MATERIAL SHALL BE 3 GALLON MATERIAL AND 30" HT. MIN. AT INSTALLATION.
- SHRUBS PLANTED IN ROADWAY BUFFERS SHALL REACH A HT. OF 3' WITHIN 2 YEARS.
- SHRUBS PLANTED IN SCREENING BUFFERS SHALL REACH A HT. OF 6' WITHIN 3 YEARS.
- ANY REQUIRED PLANTINGS THAT ARE REMOVED OR DIE SHALL BE REPLACED IN 30 DAYS.
- REQUIRED LANDSCAPING SHALL BE MAINTAINED AND PRUNED IN A MANNER THAT PRESERVES ITS NATURAL SHAPE AND GROWTH CHARACTERISTICS.
- A MIN. 3" LAYER OF MULCH SHALL BE APPLIED TO ALL PROPOSED PLANTING MATERIAL.
- THIS PLAN IS FOR THE PURPOSE OF REVIEW BY HAWAII COUNTY, AND PROVIDES SHORTHAND PURPOSES, A COMPLETE LANDSCAPE AND IRRIGATION PLAN THAT CONFORMS TO HAWAII COUNTY STANDARDS SHALL BE PROVIDED AND SUBMITTED TO HAWAII COUNTY FOR FINAL SITE PLAN.
- NO REFERENCE TO ENGINEERING SHOULD BE MADE FROM THIS PLAN FOR LANDSCAPE REFERENCE ONLY.

COMMERCIAL LANDSCAPING NOTES:

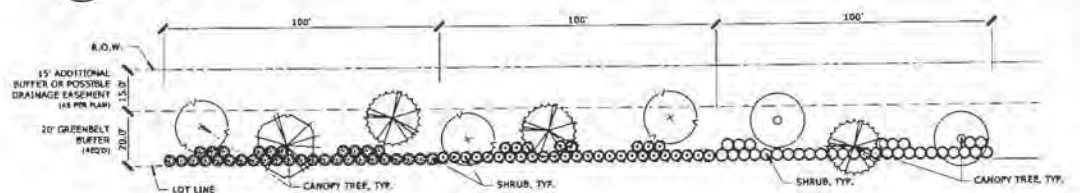
- LANDSCAPE PLAN SHALL COMPLY WITH SECTION 6.04.6 OF THE NORTH CENTRAL OVERLAY DISTRICT DESIGN MANUAL.
- VEHICULAR USE AREA LANDSCAPING.
- LANDSCAPE PLAN SHALL COMPLY WITH SECTION 71.5 OF THE HAWAII COUNTY LAND DEVELOPMENT CODE.



A TYPICAL RESIDENTIAL ROADWAY BUFFER
SCALE: 1" = 20'-0"



B TYPICAL COMMERCIAL AND OFFICE ROADWAY BUFFER
SCALE: 1" = 20'-0"



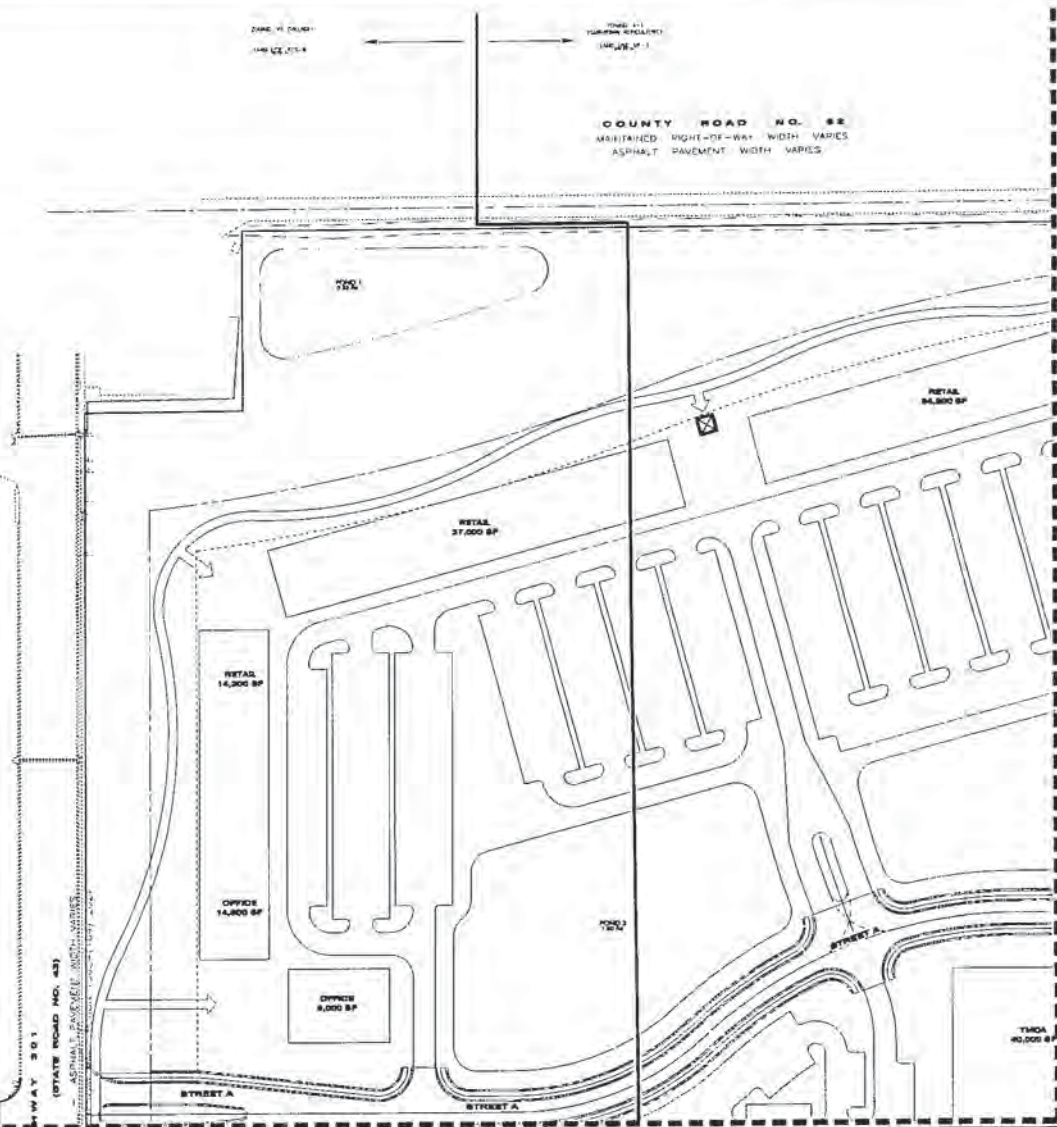
C TYPICAL GREENBELT BUFFER
SCALE: 1" = 20'-0"

<p>Engineering Station Certificate of Completion No. 16 HEIDT & ASSOCIATES, Inc. Tampa • Fort Myers • Sarasota • Orlando 8000 Green Cove Boulevard Suite 100 Orlando, FL 32801 Phone: 407-255-1101 Fax: 407-255-1102</p>		<p>PRELIMINARY LANDSCAPE PLAN NOTES & DETAILS PARRISH PLANTATION SUBDIVISION</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>		<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p>	
<p>DATE: 01/11/2011 DRAWN BY: [Signature] CHECKED BY: [Signature] DESIGNED BY: [Signature] SCALE: 1" = 20'-0"</p> </			

DATE: 02/23/11
(DATE OF SHEET)

DATE: 02/23/11
(DATE OF SHEET)

COUNTY ROAD NO. 22
MAINTAINED - RIGHT-OF-WAY WIDTH VARIES
ASPHALT PAVEMENT WIDTH VARIES



MATCHLINE SEE SHEET 2 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

MATCHLINE SEE SHEET 5 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN



PARRISH PLANTATION
SUBDIVISION
KEY MAP

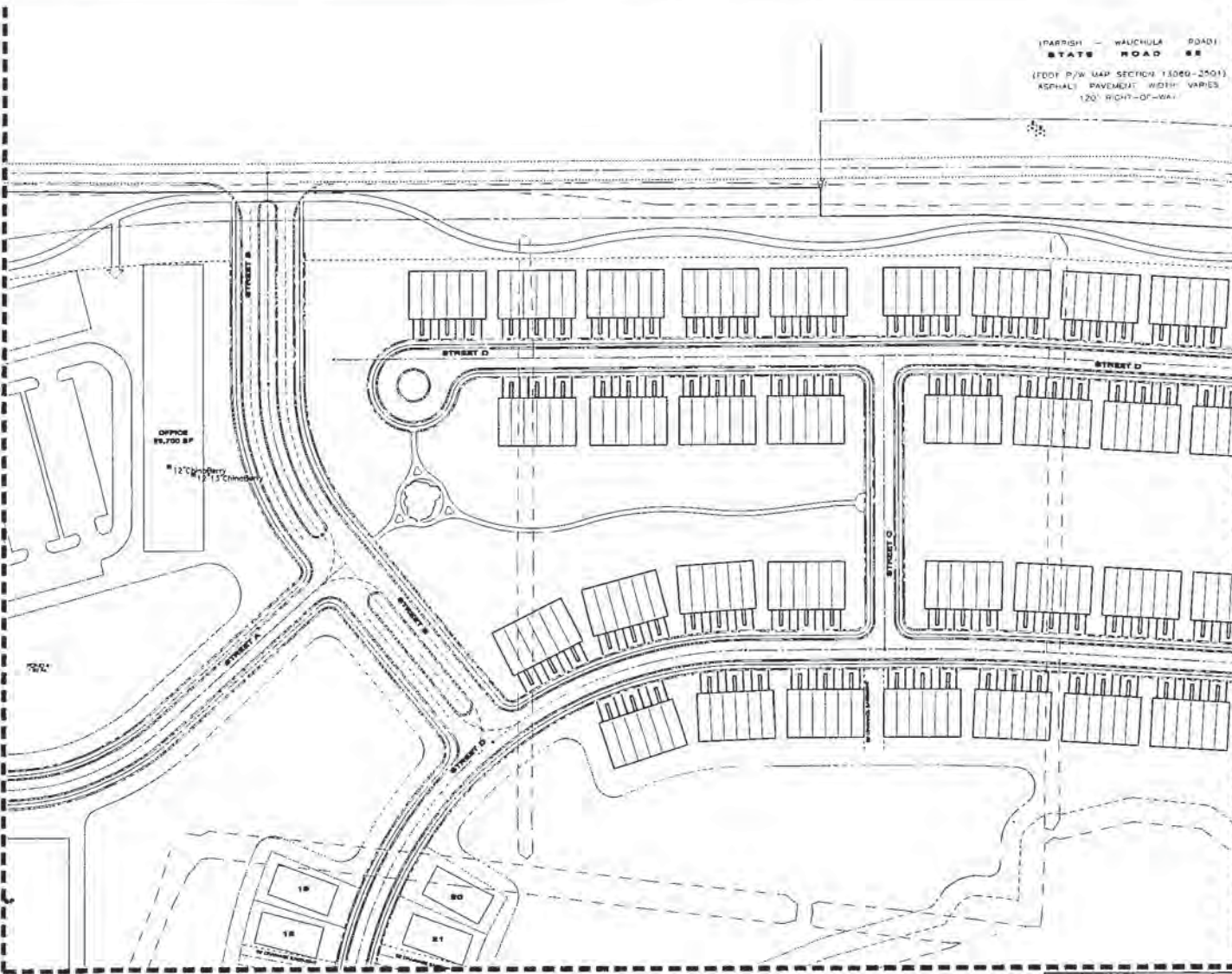
SCALE: 1" = 60'



TREE REPLACEMENT AND PRESERVATION PLAN			
DESIGNED BY	SGP-CH-033	PROJECT NO.	PARRISH PLANTATION, LLC
CHECKED BY	SG	DATE	5-10-07
APPROVED BY	SG	DATE	5-10-07
SHEET TP1 OF TP11 SHEETS			

DAVID G. GIVENS, P.E.
FLORIDA REGISTERED LANDSCAPE ARCHITECT

MATCHLINE SEE SHEET 1 OF 10 TREE PRESERVATION & REPLACEMENT PLAN



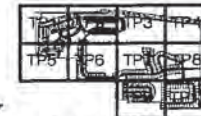
MATCHLINE SEE SHEET 6 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

(PARRISH - WALCHULA ROAD)
STATE ROAD 88
(TYP. P/W MAP SECTION 15080-2501)
ASPHALT PAVEMENT WIDTH VARIES
120' RIGHT-OF-WAY

MATCHLINE SEE SHEET 3 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

LEGEND

- EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO REMAIN
- NOTE: INVASIVE/FALLEN TREES TO BE REMOVED
2 - CHINABERRY (INVASIVE)



PARRISH PLANTATION
SUBDIVISION
KEY MAP

SCALE: 1" = 80'



Engineering Services of California, Inc.
PARRISH & ASSOCIATES, Inc.
Tampa • Fort Myers • Sarasota • Orlando
PARRISH & ASSOCIATES, Inc.
2000 Cypress Creek Boulevard
Suite 100
Orlando, FL 32817
Phone 407-255-1100
Fax 407-255-1100

TREE REPLACEMENT AND PRESERVATION PLAN	
DATE	3-10-01
DESCRIPTION	TP1, TP2, TP3, TP4, TP5, TP6, TP7, TP8, TP9, TP10, TP11, TP12, TP13, TP14, TP15, TP16, TP17, TP18, TP19, TP20, TP21, TP22, TP23, TP24, TP25, TP26, TP27, TP28, TP29, TP30, TP31, TP32, TP33, TP34, TP35, TP36, TP37, TP38, TP39, TP40, TP41, TP42, TP43, TP44, TP45, TP46, TP47, TP48, TP49, TP50, TP51, TP52, TP53, TP54, TP55, TP56, TP57, TP58, TP59, TP60, TP61, TP62, TP63, TP64, TP65, TP66, TP67, TP68, TP69, TP70, TP71, TP72, TP73, TP74, TP75, TP76, TP77, TP78, TP79, TP80, TP81, TP82, TP83, TP84, TP85, TP86, TP87, TP88, TP89, TP90, TP91, TP92, TP93, TP94, TP95, TP96, TP97, TP98, TP99, TP100
DATE	3-10-01
DESCRIPTION	TP1, TP2, TP3, TP4, TP5, TP6, TP7, TP8, TP9, TP10, TP11, TP12, TP13, TP14, TP15, TP16, TP17, TP18, TP19, TP20, TP21, TP22, TP23, TP24, TP25, TP26, TP27, TP28, TP29, TP30, TP31, TP32, TP33, TP34, TP35, TP36, TP37, TP38, TP39, TP40, TP41, TP42, TP43, TP44, TP45, TP46, TP47, TP48, TP49, TP50, TP51, TP52, TP53, TP54, TP55, TP56, TP57, TP58, TP59, TP60, TP61, TP62, TP63, TP64, TP65, TP66, TP67, TP68, TP69, TP70, TP71, TP72, TP73, TP74, TP75, TP76, TP77, TP78, TP79, TP80, TP81, TP82, TP83, TP84, TP85, TP86, TP87, TP88, TP89, TP90, TP91, TP92, TP93, TP94, TP95, TP96, TP97, TP98, TP99, TP100
DATE	3-10-01
DESCRIPTION	TP1, TP2, TP3, TP4, TP5, TP6, TP7, TP8, TP9, TP10, TP11, TP12, TP13, TP14, TP15, TP16, TP17, TP18, TP19, TP20, TP21, TP22, TP23, TP24, TP25, TP26, TP27, TP28, TP29, TP30, TP31, TP32, TP33, TP34, TP35, TP36, TP37, TP38, TP39, TP40, TP41, TP42, TP43, TP44, TP45, TP46, TP47, TP48, TP49, TP50, TP51, TP52, TP53, TP54, TP55, TP56, TP57, TP58, TP59, TP60, TP61, TP62, TP63, TP64, TP65, TP66, TP67, TP68, TP69, TP70, TP71, TP72, TP73, TP74, TP75, TP76, TP77, TP78, TP79, TP80, TP81, TP82, TP83, TP84, TP85, TP86, TP87, TP88, TP89, TP90, TP91, TP92, TP93, TP94, TP95, TP96, TP97, TP98, TP99, TP100
DATE	3-10-01
DESCRIPTION	TP1, TP2, TP3, TP4, TP5, TP6, TP7, TP8, TP9, TP10, TP11, TP12, TP13, TP14, TP15, TP16, TP17, TP18, TP19, TP20, TP21, TP22, TP23, TP24, TP25, TP26, TP27, TP28, TP29, TP30, TP31, TP32, TP33, TP34, TP35, TP36, TP37, TP38, TP39, TP40, TP41, TP42, TP43, TP44, TP45, TP46, TP47, TP48, TP49, TP50, TP51, TP52, TP53, TP54, TP55, TP56, TP57, TP58, TP59, TP60, TP61, TP62, TP63, TP64, TP65, TP66, TP67, TP68, TP69, TP70, TP71, TP72, TP73, TP74, TP75, TP76, TP77, TP78, TP79, TP80, TP81, TP82, TP83, TP84, TP85, TP86, TP87, TP88, TP89, TP90, TP91, TP92, TP93, TP94, TP95, TP96, TP97, TP98, TP99, TP100

PARRISH PLANTATION SUBDIVISION

PARRISH PLANTATION, LLC

Developed based on National Grids North Datum 1983 (NAD83) 83
Conversion from NAD83 to NAD83 83 + 0.00 Feet
SHEET TP2 OF TP11 SHEETS

MATCHLINE SEE SHEET 2 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

MATCHLINE SEE SHEET 4 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

STATE
(PARRISH - WAL
17DOT R.W. MAP SEC
120' RCHT
ASPHALT DRAINAGE

WETLAND AREA 1A
42.47 AC. ±

WETLAND AREA 1A
5.28 AC. ±

WETLAND AREA 1A
5.17 AC. ±

WETLAND AREA 1A
42.47 AC. ±

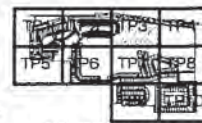
MATCHLINE SEE SHEET 7 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN



SCALE: 1" = 80'



PARRISH PLANTATION
SUBDIVISION
KEY MAP

<p>Engineer's Survey Certificate of Registration No. 14 HISCOX & ASSOCIATES, Inc. Tampa • Fort Myers • Sarasota • Manatee</p>		<p>PROJECT: TREE REPLACEMENT AND PRESERVATION PLAN SHEET TP3 OF TP11 SHEETS</p>	
<p>DESIGNED BY: David Overton, P.E., No. 0001144 Checked By: [Signature] Date: 3-10-07</p>		<p>DATE: 3-10-07 PROJECT: PARRISH PLANTATION, LLC SHEET TP3 OF TP11 SHEETS</p>	

MATCHLINE SEE SHEET 3 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

ROAD 00
VEHICLE (ROAD)
TYPICAL 13000-25000
OFF-ROAD
WIDTH VARIES

CONCRETE PAVEMENT (PAVED)
AND 150' (15'-2)

WETLAND AREA 10'
0.00 AC

WETLAND AREA 10'
0.00 AC

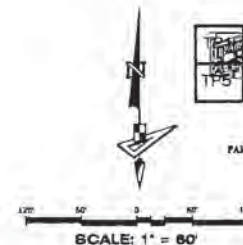
WETLAND AREA 10'
0.00 AC

WETLAND AREA 10'
0.00 AC


MATCHLINE SEE SHEET 8 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

LEGEND

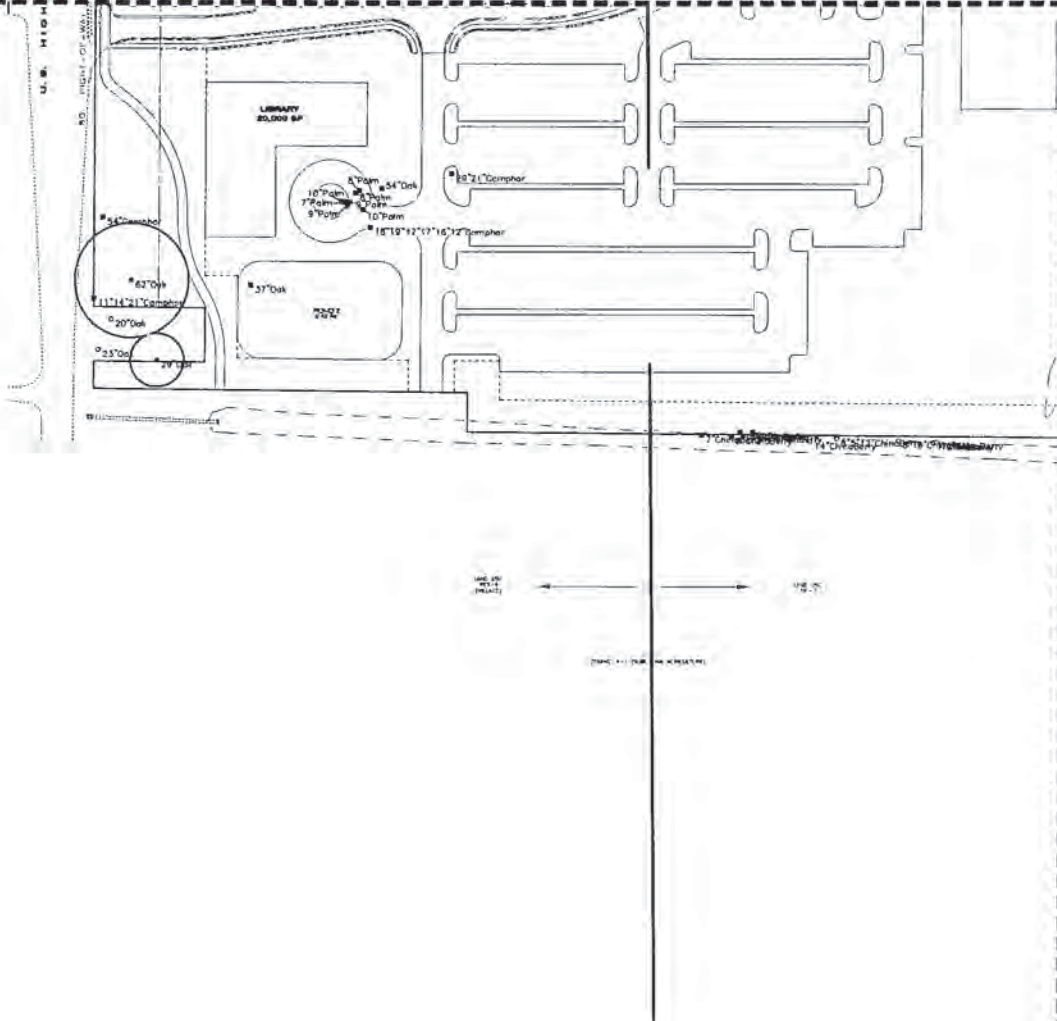
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- NOTE: INVASIVE/FALLEN TREES TO BE REMOVED
4 - LIVE OAK (FALLEN)



PARRISH PLANTATION
SUBDIVISION
KEY MAP

<p>Engineering Services Division of Construction, Inc. Ltd. HEEDY & ASSOCIATES, INC. Tampa • Fort Myers • Sarasota • Clearwater</p>  <p>Surveying & Engineering Division 2000 Gulfstream Drive, Suite 100 University Park, FL 33409 Phone: (813) 988-1100 Fax: (813) 988-1100</p>		<p>TREE REPLACEMENT AND PRESERVATION PLAN</p> <p>DATE: 03-28-07 PROJECT: PARRISH PLANTATION, LLC SHEET: TP4 OF TP11 SHEETS</p>	
<p>DATE: 03-28-07 PROJECT: PARRISH PLANTATION, LLC SHEET: TP4 OF TP11 SHEETS</p>		<p>DATE: 03-28-07 PROJECT: PARRISH PLANTATION, LLC SHEET: TP4 OF TP11 SHEETS</p>	

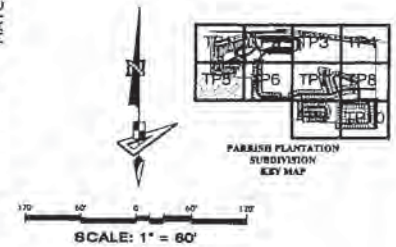
MATCHLINE SEE SHEET 1 OF 10 TREE PRESERVATION & REPLACEMENT PLAN



MATCHLINE SEE SHEET 6 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

LEGEND

- EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO REMAIN
- NOTE: INVASIVE/FALLEN TREES TO BE REMOVED
 4 - CAMPHOR (INVASIVE)
 5 - CHINABERRY (INVASIVE)

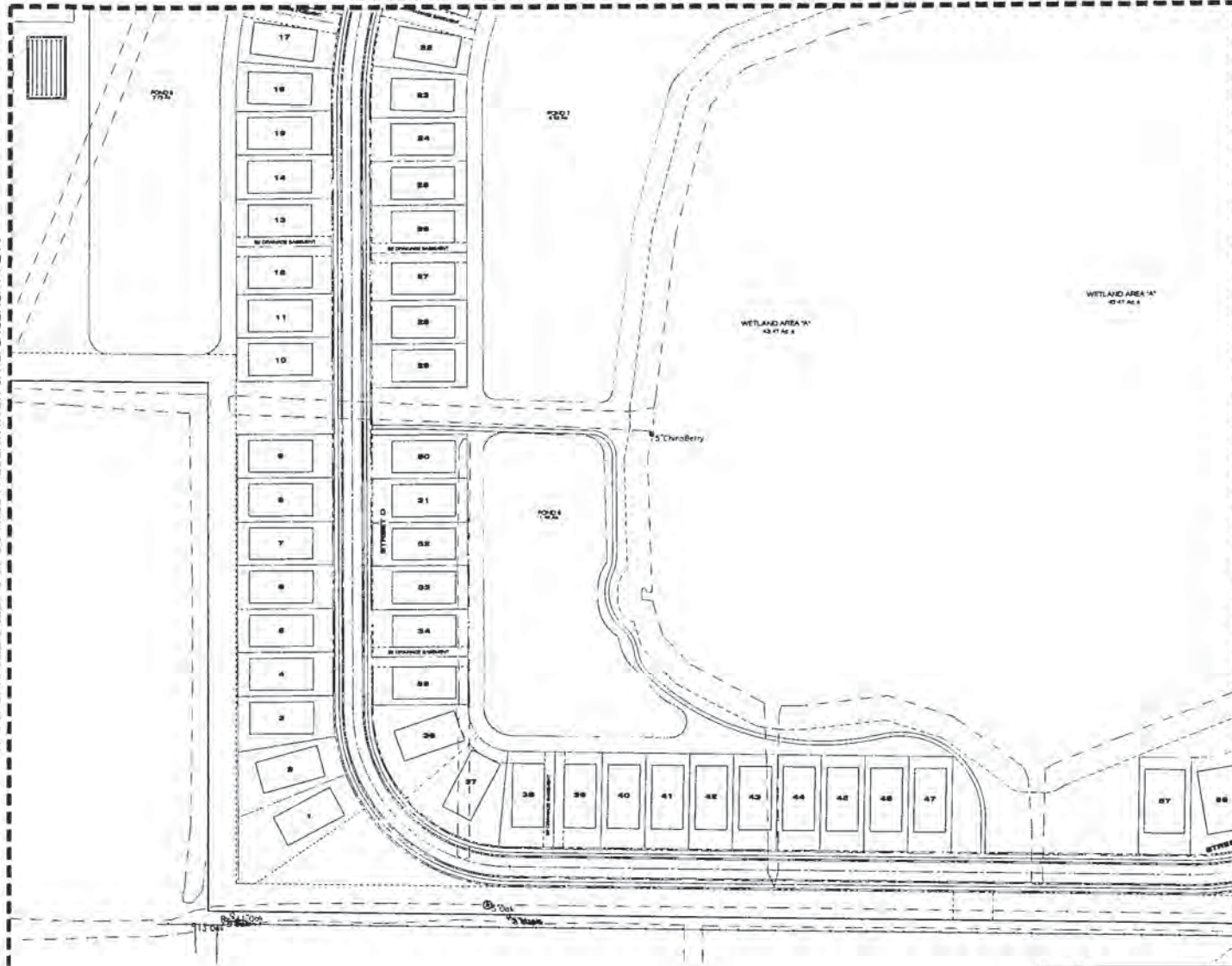


PREPARED BY HENRY & ASSOCIATES, INC. TAMPA • FORT MYERS • SEASIDE-MAINE		TREE REPLACEMENT AND PRESERVATION PLAN (SHEET NO.) S/OP-CH-072	
DESIGNED BY DAVID QUERTSON, A.L.A.		CHECKED BY DAVID QUERTSON, A.L.A.	
DATE 04/10/2010		PROJECT NO. 0410-0001-141	
SHEET NO. 06		TOTAL SHEETS 11	
PROJECT NAME PARRISH PLANTATION, LLC		SHEET TITLE TREE REPLACEMENT AND PRESERVATION PLAN	
PROJECT ADDRESS 10000 W. BAYVIEW BLVD. #100 MIAMI, FL 33147		PROJECT PHONE 305-555-1100	
PROJECT FAX 305-555-1101		PROJECT EMAIL info@h-a.com	

MATCHLINE SEE SHEET 5 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

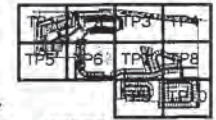
MATCHLINE SEE SHEET 2 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

MATCHLINE SEE SHEET 7 OF 10 TREE PRESERVATION & REPLACEMENT PLAN



LEGEND

- ⊙ EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO REMAIN
- NOTE: INVASIVE/FALLEN TREES TO BE REMOVED
1 - CHINABERRY (INVASIVE)



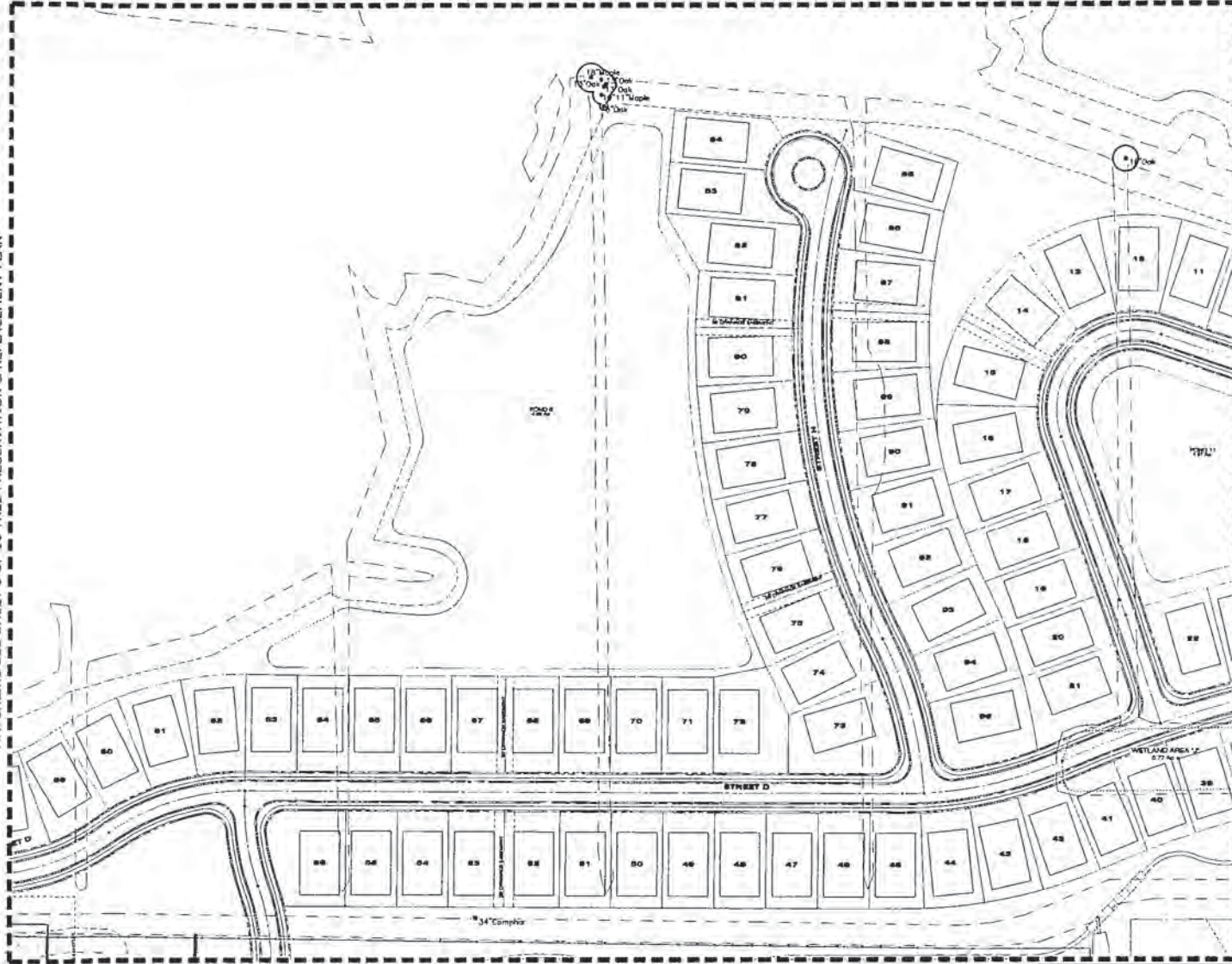
PARRISH PLANTATION
SUBDIVISION
KEY MAP

SCALE: 1" = 80'

<div> <div> </div> <div> HERDY & ASSOCIATES, Inc. Tampa • Fort Myers • Sarasota-Manatee 4040 Courtney Chase Blvd. Suite 100 Lakewood, FL 33409 Phone: (941) 299-1100 Fax: (941) 299-1102 </div> </div>	TREE REPLACEMENT AND PRESERVATION PLAN JOB NO: 2007-CH-013 DESIGN: [blank] DRAWN: [blank] CHECKED: [blank] DATE: 3-30-07 BY: DAVID GUETTISON, R.L.A. 0001141 PROJECT: PARRISH PLANTATION SUBDIVISION	PARRISH PLANTATION SUBDIVISION PARRISH PLANTATION, LLC 10000 Highway 90 Suite 100 Fort Myers, FL 33907 Phone: (941) 336-1100 Fax: (941) 336-1102
2410 REVISIONS	2410 REVISIONS	SHEET TP6 OF TP11 SHEETS

MATCHLINE SEE SHEET 3 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

MATCHLINE SEE SHEET 6 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

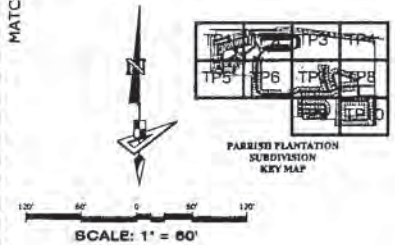


MATCHLINE SEE SHEET 8 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

MATCHLINE SEE SHEET 9 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

LEGEND

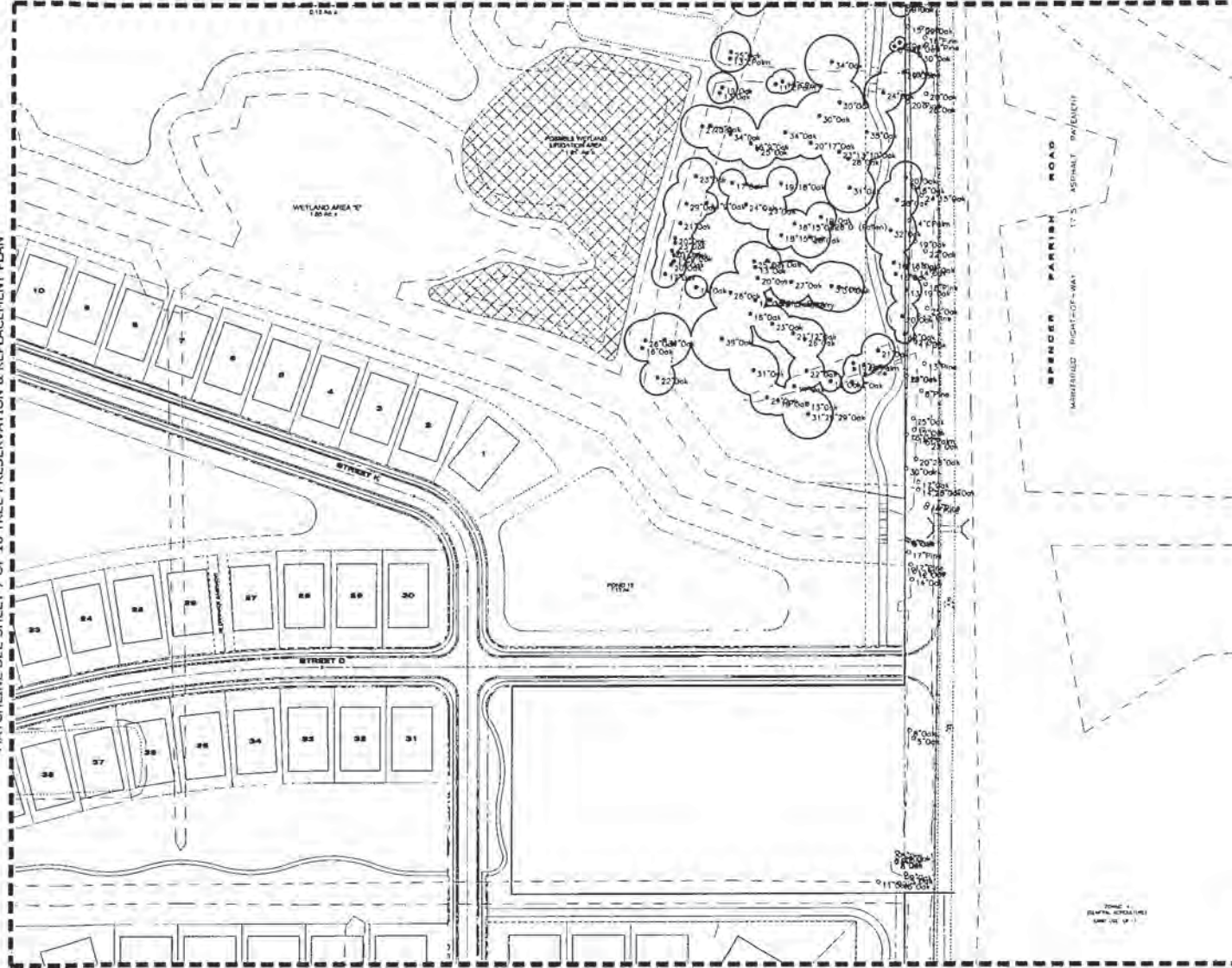
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- NOTE: INVASIVE/FALLEN TREES TO BE REMOVED
1 - CAMPHOR (INVASIVE)



<p>Engineering: Michael J. Gentry, P.E., 101 HEDDY & ASSOCIATES, INC. Tampa • Fort Myers • Sarasota • St. Petersburg</p>		<p>DATE: 3-30-07 DESCRIPTION: TREE REPLACEMENT AND PRESERVATION PLAN REVISIONS:</p>		<p>PROJECT: PARRISH PLANTATION SUBDIVISION CLIENT: PARRISH PLANTATION, LLC SHEET: TP7 OF TP11 SHEETS</p>	
<p>DATE: 3-30-07 DESCRIPTION: TREE REPLACEMENT AND PRESERVATION PLAN REVISIONS:</p>		<p>PROJECT: PARRISH PLANTATION SUBDIVISION CLIENT: PARRISH PLANTATION, LLC SHEET: TP7 OF TP11 SHEETS</p>		<p>DATE: 3-30-07 DESCRIPTION: TREE REPLACEMENT AND PRESERVATION PLAN REVISIONS:</p>	

MATCHLINE SEE SHEET 4 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

MATCHLINE SEE SHEET 7 OF 10 TREE PRESERVATION & REPLACEMENT PLAN



MATCHLINE SEE SHEET 10 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

LEGEND

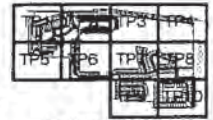
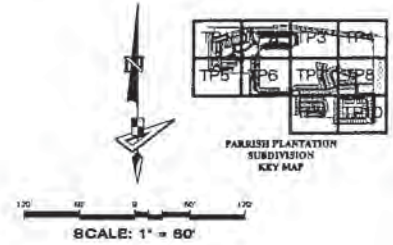
● 12700 EXISTING TREE TO BE REMOVED

● 12701 EXISTING TREE TO REMAIN

NOTE: INVASIVE/FALLEN TREES TO BE REMOVED

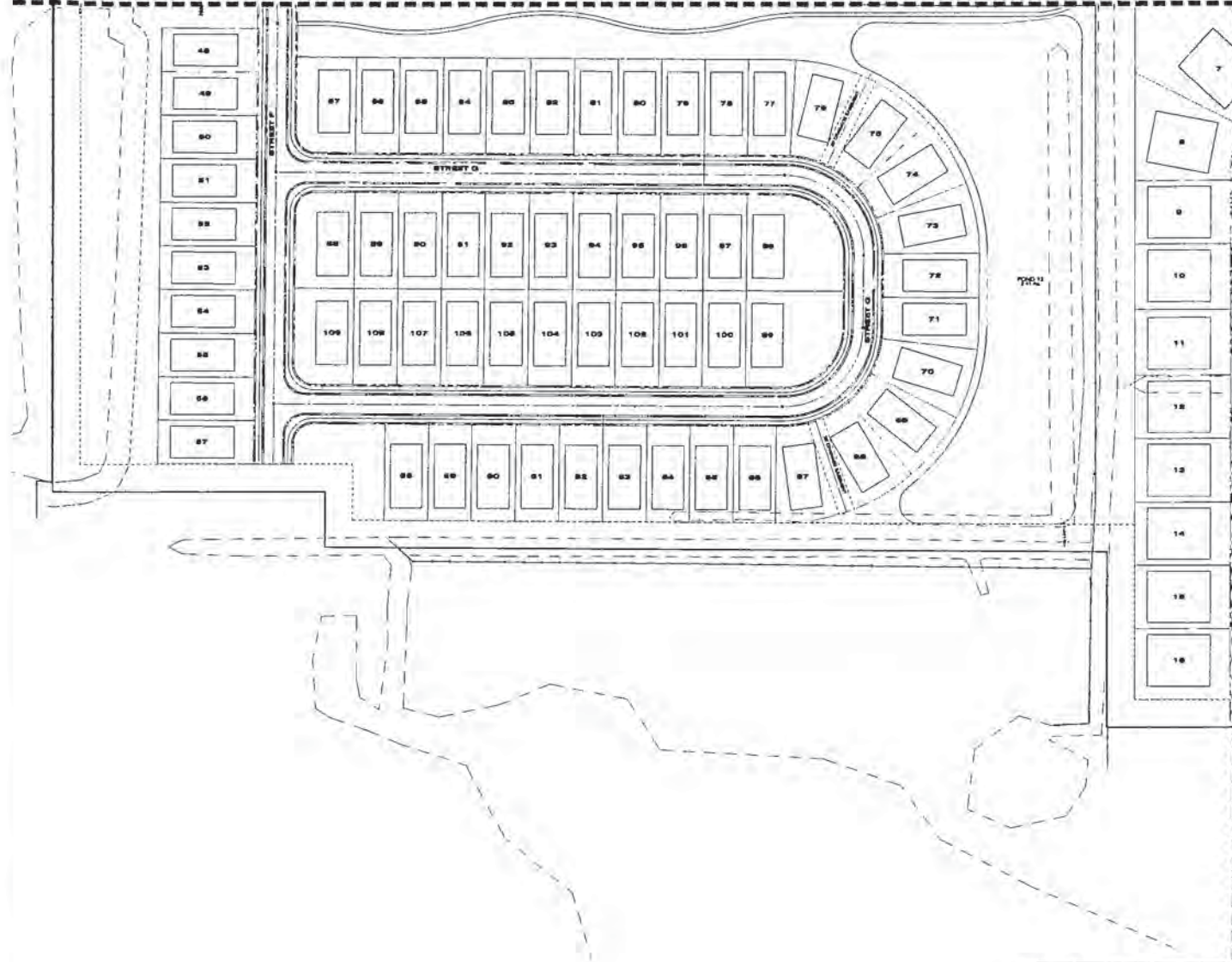
1 - LIVE OAK (FALLEN)

2 - CHINABERRY (INVASIVE)



<p>ENGINEER: HERST & ASSOCIATES, INC. Tampa • Fort Myers • Sarasota-Manatee</p> <p>PROJECT: PARRISH PLANTATION SUBDIVISION</p> <p>DATE: 3-30-17</p> <p>BY: DAVID CLARKSON, R.L.A. NO. 0001141</p>		<p>TREE REPLACEMENT AND PRESERVATION PLAN</p> <p>PROJECT: PARRISH PLANTATION SUBDIVISION</p> <p>DATE: 3-30-17</p> <p>BY: DAVID CLARKSON, R.L.A. NO. 0001141</p>
<p>PROJECT: PARRISH PLANTATION SUBDIVISION</p> <p>DATE: 3-30-17</p> <p>BY: DAVID CLARKSON, R.L.A. NO. 0001141</p>		<p>SHEET TP8 OF TP11 SHEETS</p>

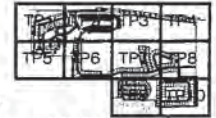
MATCHLINE SEE SHEET 7 OF 10 TREE PRESERVATION & REPLACEMENT PLAN



MATCHLINE SEE SHEET 10 OF 10 TREE PRESERVATION & REPLACEMENT PLAN

LEGEND

- EXISTING TREE TO REMOVE PER PSP
- EXISTING TREE TO RETAIN PER PSP



PARISH PLANTATION
SUBDIVISION
KEY MAP

SCALE: 1" = 80'

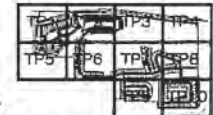
<p>Engineered by: W. H. H. & ASSOCIATES, Inc. HEEDT & ASSOCIATES, Inc. 10000 Highway 100, Suite 100 Houston, Texas 77055 Phone: 281-468-1100 Fax: 281-468-1101</p>		<p>TREE REPLACEMENT AND PRESERVATION PLAN</p>										
<p>  </p>		<p> PARISH PLANTATION SUBDIVISION SHEET TP9 OF TP11 SHEETS CONVERSION FROM 80/20 TO 80/20 20' TO 80/20 20' = 10' 0" 0" 0" </p>										
DATE	DESCRIPTION	DATE	DESCRIPTION									
01/11/04	REVISED	01/11/04	REVISED									
<p>DESIGNED BY: DAVID OLIVIERO, P.E. PROJECT NO: 100001141 ALIGNED: 100001141</p>		<p> PARISH PLANTATION, L.L.C. REVISIONS: <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>01/11/04</td> <td>REVISED</td> </tr> <tr> <td>2</td> <td>01/11/04</td> <td>REVISED</td> </tr> </tbody> </table> </p>		NO.	DATE	DESCRIPTION	1	01/11/04	REVISED	2	01/11/04	REVISED
NO.	DATE	DESCRIPTION										
1	01/11/04	REVISED										
2	01/11/04	REVISED										
<p>SHEET TP9 OF TP11 SHEETS</p>		<p>PARISH PLANTATION SUBDIVISION</p>										

MATCHLINE SEE SHEET 9 OF 10 TREE PRESERVATION & REPLACEMENT PLAN



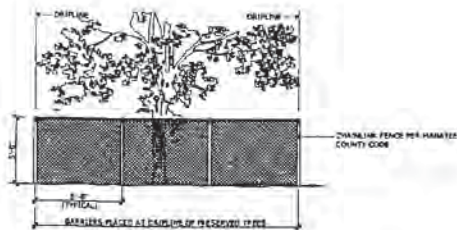
☐ **EXISTING TREE TO REMOVE PER PSP**

☒ **EXISTING TREE TO RETAIN PER PSP**



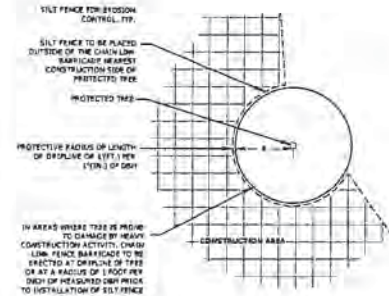
SCALE: 1" = 60'

<p>Engineering Associates, Inc. 104 HEED & ASSOCIATES, Inc. 1000 - Fort Myers - Sarasota Highway  Sarasota-Lake Wales Office 6914 Center Circle Suite 107 University Park, FL 34203 Phone: 941-485-1701 Fax: 941-428-1701</p>		<p>TREE REPLACEMENT AND PRESERVATION PLAN</p> <p>LOT: 104-00-31 SUBDIVISION: SHEET: 104-00-31 DATE: 11-15-87 DRAWN BY: 11-15-87 CHECKED BY: 11-15-87 SCALE: 1"=10'-0"</p> <p>PARRISH PLANTATION SUBDIVISION</p> <p>PREPARED BY: PARRISH PLANTATION, LLC</p> <p>DATE: 11-15-87 DRAWN BY: 11-15-87 CHECKED BY: 11-15-87 SCALE: 1"=10'-0"</p> <p>SHEET 104-00-31 OF TP11 SHEETS</p>	
--	--	---	--



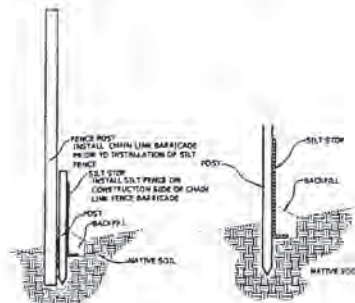
TREE BARRICADE DETAIL

NOT TO SCALE



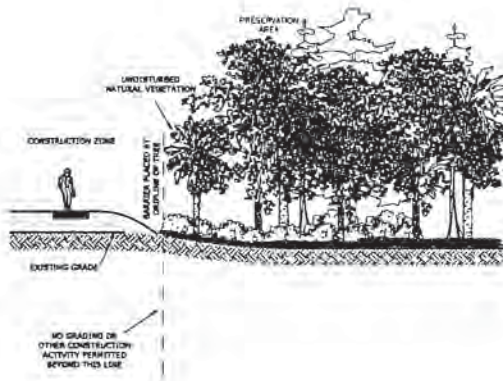
PROTECTIVE BARRIER DETAIL

NOT TO SCALE



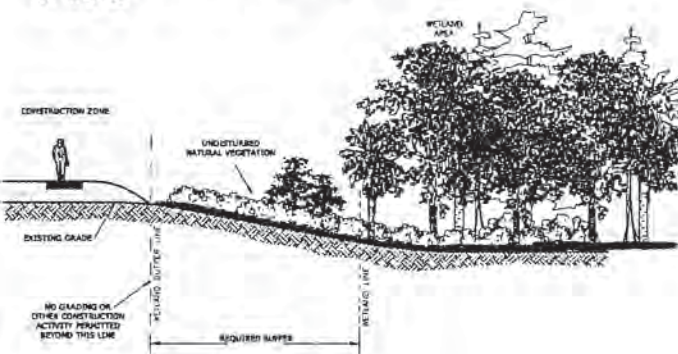
PROTECTIVE BARRIER DETAIL

NOT TO SCALE



PRESERVATION AREA DETAIL (TYPICAL SECTION)

NOT TO SCALE



WETLAND BUFFER DETAIL (TYPICAL SECTION)

NOT TO SCALE

MANATEE COUNTY TREE INVENTORY CALCULATIONS

PRE-DEVELOPMENT

TOTAL TREES ON SITE	295*
Survived trees to be preserved in proposed development	124
Survived trees to be preserved in proposed landscape buffer	38**
Survived trees to be preserved in proposed wetland buffer	124
Survived trees to be preserved in proposed wetland buffer	8
Survived trees to be preserved in proposed wetland buffer	1
Survived trees to be preserved in proposed wetland buffer	20***

*Based on trees located in wetland buffer
**Based on trees located in wetland buffer
***Based on trees located in wetland buffer

POST-DEVELOPMENT

Existing trees to be preserved	286
Replacement trees required/proposed*	759
Buffer street trees required/proposed*	409
Total trees on site after construction	1534

*See sheet LP2 of LP2, Preliminary Landscape Plan for complete list of trees.
*Replacement trees included in quantity of required canopy trees located in Landscape Buffers and Common Area Street Trees. Street Trees provided by builder were not counted towards replacement trees.

EXISTING BUFFER, PARKING AREAS, AND STREET TREES TO REMAIN

DIAMETER	NUMBER RETAINED	MULTIPLIER / REQ. CAL	TREE CREDIT
36"+	0	5	0
36"-35"	0	3	19
TOTAL TREES RETAINED:	0		19

EXISTING TREES TO BE REMOVED

DIAMETER	NUMBER REMOVED	MULTIPLIER / REQ. CAL	TREE DEBIT
36"+	2	3 (7" CAL.)	6 (7" CAL.)
36"-30"	0	2 (5" CAL.)	0 (5" CAL.)
30"-15"	0	1 (3" CAL.)	0 (3" CAL.)
PALMS	7	1	7 (PALMS)
INVASIVE/FALLER	20	N/A	N/A
TOTAL TREES REMOVED:	29		13

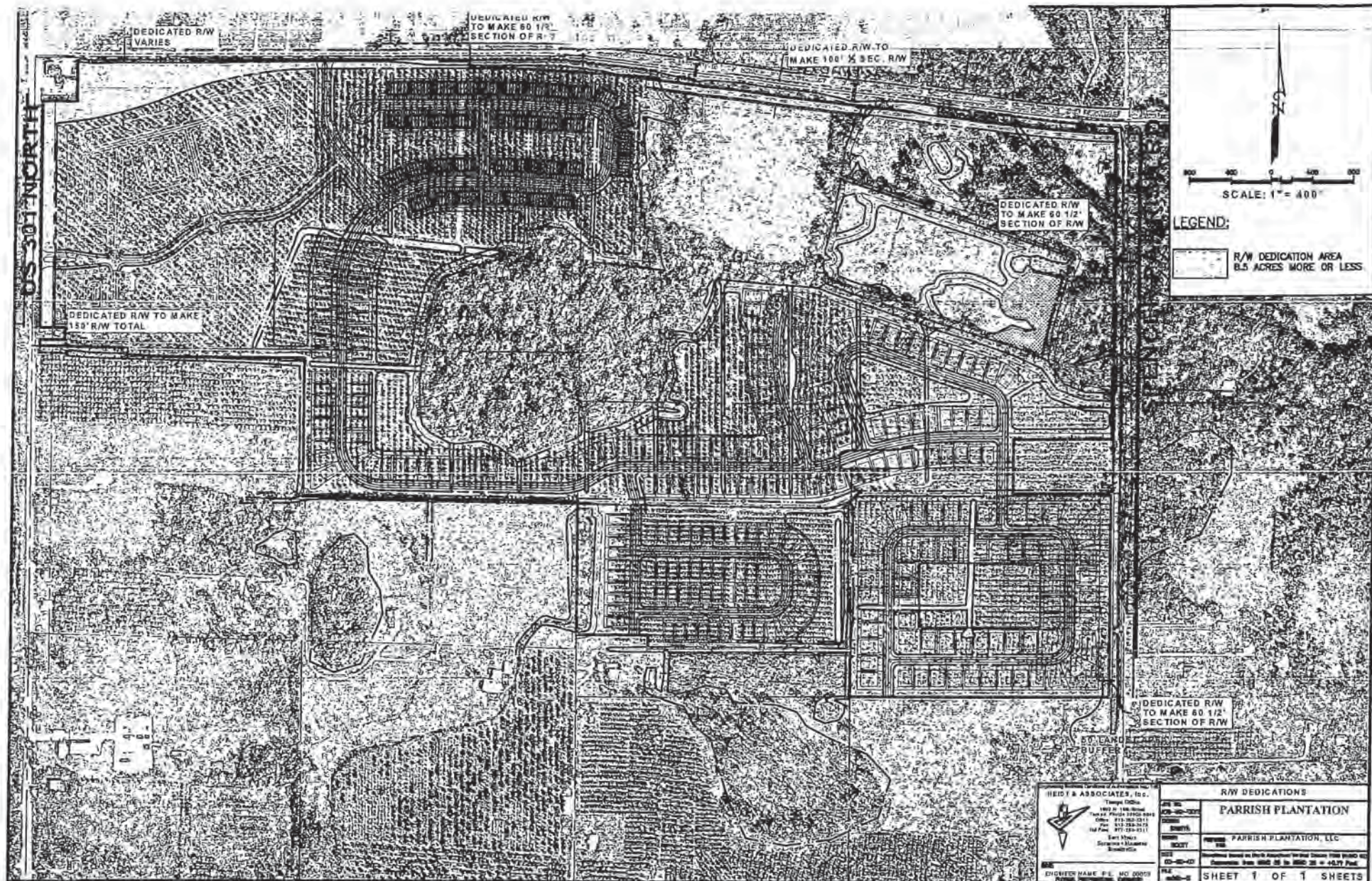
TOTAL TREES REMOVED: 29 TOTAL TREE DEBIT: 13

<p>MANATEE COUNTY COMMISSION</p> <p>COMMISSIONER</p> <p>DATE</p> <p>REVIEWED</p>		<p>MANATEE COUNTY TREE INVENTORY CALCULATIONS</p> <p>DATE</p> <p>REVIEWED</p>		<p>MANATEE COUNTY TREE INVENTORY CALCULATIONS</p> <p>DATE</p> <p>REVIEWED</p>	
<p>MANATEE COUNTY TREE INVENTORY CALCULATIONS</p> <p>DATE</p> <p>REVIEWED</p>		<p>MANATEE COUNTY TREE INVENTORY CALCULATIONS</p> <p>DATE</p> <p>REVIEWED</p>		<p>MANATEE COUNTY TREE INVENTORY CALCULATIONS</p> <p>DATE</p> <p>REVIEWED</p>	

Exhibit "C"

Right-of-Way Exhibit

(1 Page)

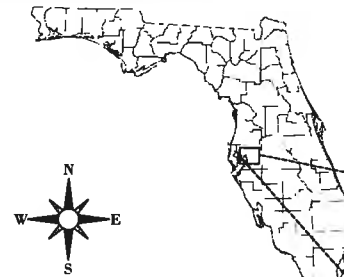


5806-B Breckenridge Parkway
Tampa, Florida 33610
Office: 813-253-5311
Fax: 813-464-7629
www.HeidtDesign.com



HEIDT
— DESIGN —
Civil Engineering • Planning & GIS
Transportation Engineering
Ecological Services • Landscape Architecture

Engineering Business Certificate of Authorization No. 28782
Landscape Architecture Certificate of Authorization No. LC26000-405



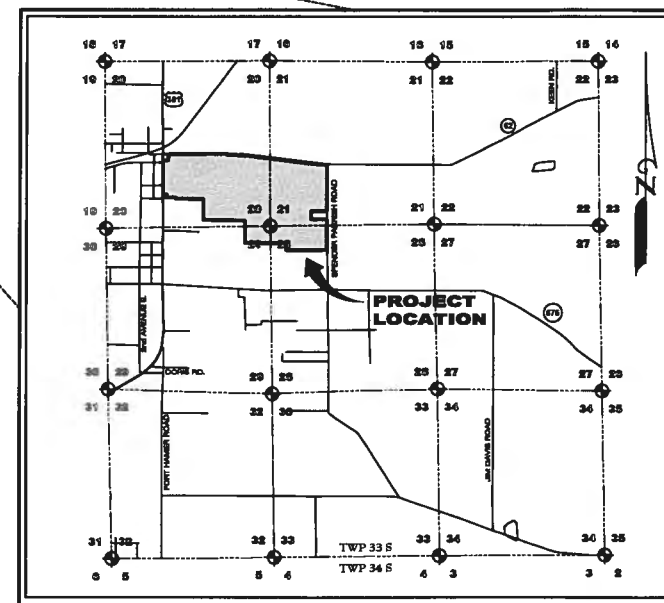
**SECTIONS 28 TOWNSHIP 33 SOUTH, RANGE 19 EAST
MANATEE COUNTY, FLORIDA**

CALL 48 HOURS BEFORE YOU DIE



1-800-432-4770

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	MASTER SITE PLAN A
3	GENERAL NOTES A
4	MASTER SITE PLAN B
5	GENERAL NOTES B



VICINITY MAP
(SCALE 1" = ½ MILE)

PARRISH PLANTATION
REVISED PRELIMINARY SITE PLAN

PARRISH PLANTATION, LLC

[illegible]

HEIDT
DESIGN
Civil Engineering • Planning & GIS
Transportation Engineering
Ecological Services • Landscape Architecture

R:\PARRISH PLANTATION\WORKING FILES\CURRENT DRAWINGS\CP\COVER.DWG-C-100 2013/04/15 9:22 AM MARK BARRETT

ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION: NGVD 29 TO NAVD 88 = -0.95

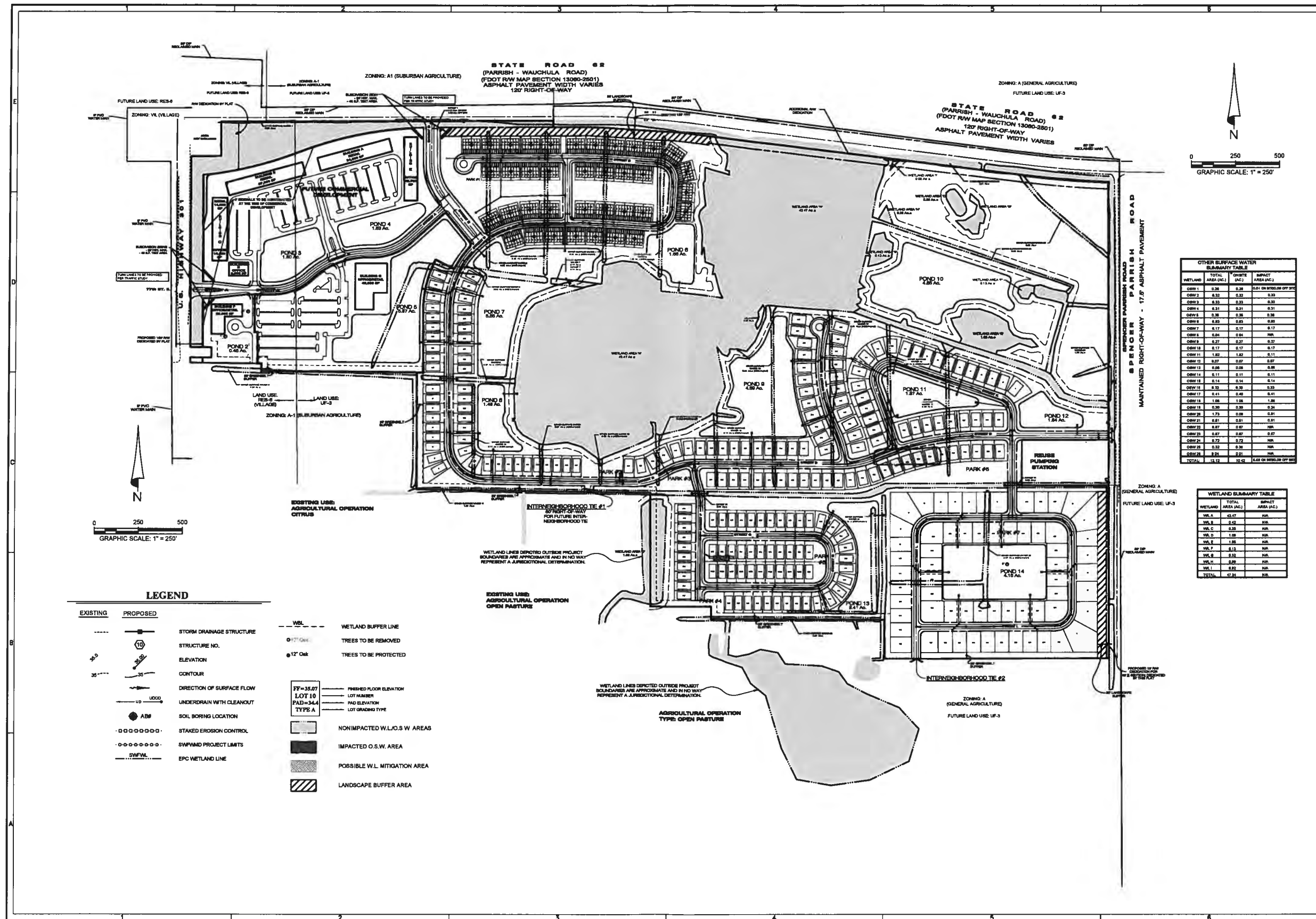
ADDRESS CONTROL NUMBER	
WATER COMMITMENT	
SEWER COMMITMENT	
SWFPMID	
WATER DEP	
SEWER DEP	
FOLIO	
PERMIT / FILE NUMBERS	

FLORIDA PROFESSIONAL ENGINEER

FILE	COVER
PROJECT NO:	AAA-AA-0000
GRADING & DRAINAGE	
DESIGN BY:	STOLLINGS
DRAWN BY:	STOLLINGS
UTILITIES	
DESIGN BY:	STOLLINGS
DRAWN BY:	STOLLINGS

COVER SHEET
1 OF 5

STRICKLAND T. SMITH
DATE: _____
REGISTRATION NO. 50652



OTHER SURFACE WATER SUMMARY TABLE			
WETLAND	TOTAL AREA (AC)	CHUTE AREA (AC)	IMPACT AREA (AC)
OWB 1	0.38	0.38	0.31 ON WETLAND OFF SITE
OWB 2	0.32	0.32	0.33
OWB 3	0.33	0.33	0.33
OWB 4	0.31	0.31	0.31
OWB 5	0.38	0.38	0.38
OWB 6	0.33	0.33	0.33
OWB 7	0.17	0.17	0.17
OWB 8	0.34	0.34	N/A
OWB 9	0.27	0.27	0.27
OWB 10	0.17	0.17	0.17
OWB 11	1.82	1.82	0.11
OWB 12	0.37	0.37	0.37
OWB 13	0.38	0.38	0.38
OWB 14	0.11	0.11	0.11
OWB 15	0.14	0.14	0.14
OWB 16	0.33	0.33	0.33
OWB 17	0.41	0.40	0.41
OWB 18	1.08	1.08	1.08
OWB 19	0.38	0.38	0.38
OWB 20	1.73	0.38	0.31
OWB 21	0.81	0.81	0.81
OWB 22	0.87	0.87	N/A
OWB 23	0.87	0.87	0.87
OWB 24	0.77	0.77	N/A
OWB 25	0.32	0.38	N/A
OWB 26	0.34	0.31	N/A
TOTAL	19.12	12.43	4.88 ON WETLAND OFF SITE

WETLAND SUMMARY TABLE			
WETLAND	TOTAL AREA (AC)	IMPACT AREA (AC)	
WLA A	45.47	N/A	
WLA B	2.54	N/A	
WLA C	2.28	N/A	
WLA D	1.09	N/A	
WLA E	1.85	N/A	
WLA F	0.11	N/A	
WLA G	0.33	N/A	
WLA H	0.89	N/A	
WLA I	0.82	N/A	
TOTAL	57.94	N/A	

HEIDT DESIGN
Civil Engineering - Planning & GIS
Professional Engineering
Ecological Services / Landscape Architecture
1806-B Brockbridge Pkwy
Tampa, Florida 33610
Office: 813-253-5311
Fax: 813-464-7829
www.HeidtDesigns.com

PARRISH PLANTATION
MASTER SITE PLAN A
PARRISH PLANTATION, LLC

PREPARED FOR:

DATE:

DESCRIPTION:

2 04/15/2013 COUNTY COMMENTS

1 08/14/2012 REVIEW SUBMITTAL

DATE DESCRIPTION

PROJECT NO:

FILE: MD-PLAN A

DESIGN BY: STOLLINGS

DRAWN BY: STOLLINGS

FLORIDA PROFESSIONAL ENGINEER

STRICKLAND T. SMITH

DATE: 08/14/2012

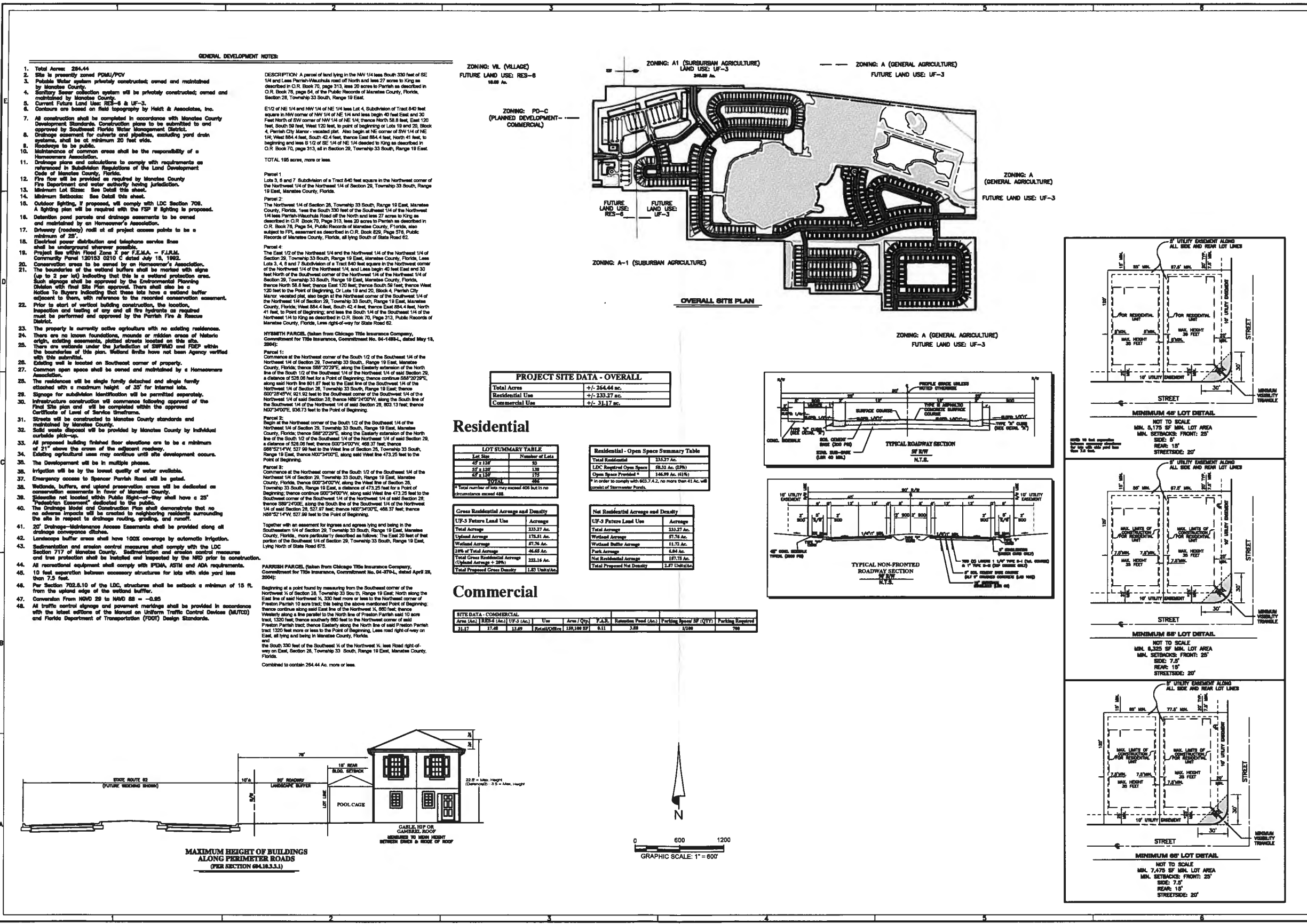
REGISTRATION NO. 50652

2 OF 5

1. Total Acres: 284.44
2. Site is presently zoned PDMM/POV
3. Potable Water collection system to be privately constructed; owned and maintained by the Manatee County
4. Sanitary Sewer collection system will be privately constructed; owned and maintained by Manatee County
5. Current Future Land Use: RS-6 & UF-3
6. Easements are based on final topography by Heist & Associates, Inc.
7. All construction shall be completed in accordance with Manatee County Development Standards and shall be subject to review and approval by and approved by Southdune Florida Water Management District.
8. Drainage easement for culverts and flood plains, including yard drain easements, shall be a minimum 20 foot wide.
9. Roadways to be public.
10. Maintenance of common areas shall be the responsibility of a Homeowners Association.
11. Drainage plans and calculations to comply with requirements as referenced in Subchapter 60A of the Land Development Code of Manatee County, Florida.
12. Fire flow will be provided as required by Manatee County Fire Department and shall be in accordance with the Florida Building Code.
13. Minimum Lot Size: See Detail sheet.
14. Minimum setbacks: See Detail sheet.
15. Outdoor lighting, if proposed, will comply with LDC Section 708.
16. A lighting plan will be required with the final site lighting proposal.
17. Detention pond parcels and drainage easements to be owned and maintained by an Homeowner's Association.
18. Driveway (roadway) right of all project access points to be a minimum 25'.
19. Electrical power distribution and telephone services shall be underground wherever possible.
20. Project Site within Flood Zone 1A, FEMA - FIRM, Community Panel 120123 0210 C dated July 18, 1982.
21. Conservation areas to be owned by an Homeowner's Association.
22. The boundaries of the conservation areas shall be marked with signs (up to 2 per lot) indicating that this is a wetland protection area.
23. All drainage shall be in accordance with the Manatee County Planning Division with final Site Plan approval. There shall also be a Notice To Buyers indicating that these lots have a wetland buffer adjacent to them, with reference to the final conservation easement.
24. Prior to start of vertical building construction, the location, inspection and testing of any and all fire hydrants as required must be performed and approved by the Parrish Fire & Rescue District.
25. The property is currently active agriculture with no existing residences.
26. There are no known foundations, mounds or ridges areas of historic origin existing within the boundaries of the proposed development.
27. There are wetlands under the jurisdiction of SWFWMD and FDEP within the boundaries of this plan. Wetland limits have not been Agency verified with the authority.
28. Existing well is located on Southeast corner of property.
29. Common open space shall be owned and maintained by a Homeowners Association.
30. The residences will be single family detached and single family attached with a maximum height of 35' for interior lots.
31. Design for subsurface detention of stormwater to be approved.
32. Infrastructure construction will commence following approval of the Final Site plan and will be completed within the approved Certificate of Land Use and Subdivision.
33. Streets will be constructed to Manatee County standards and maintained by Manatee County.
34. Solid waste disposal will be provided by Manatee County by individual curbside pick-up.
35. All proposed building finished floor elevations are to be a minimum of 2' above the crown of the adjacent roadway.
36. Existing infrastructure to be owned and maintained by the development owner.
37. The Development will be in multiple phases.
38. Irrigation will be by the lowest quality of water available.
39. Emergency access to Spancor Parrish Road will be gated.
40. Wetlands, buffers, and riparian preservation shall be dedicated as conservation easements to the benefit of Manatee County.
41. Streets will be located within Public Right-of-Way shall have a 25' "Pedestrian Easement" dedicated to the public.
42. The Drainage Model Computer Simulation will demonstrate that no adverse impacts will be created to neighboring residents surrounding the lots in respect to drainage routing, grading, and runoff.
43. 20' Drainage-Setback Easement easements shall be provided along all drainage convergence areas.
44. Landscapes buffer areas shall have 100% coverage by automatic irrigation.
45. Sedimentation and erosion control measures shall comply with the LDC Section 707 of Manatee County.
46. All recreation equipment shall comply with FEMA, ASTM and ADA requirements.
47. 10 foot separation between accessory structures for lots with yard lease.
48. Per Section 702.6.10 of the LDC, structures shall be setback a minimum of 15 ft. from the upland edge of the wetland buffer.
49. Conversion From NHD 29 to NHD 88 = -0.85
50. All traffic control signage and pavement markings shall be provided in accordance with the Florida Department of Transportation (FDOT) Design Standards and Florida Department of Transportation (FDOT) Design Standards.

[illegible]

3 OF 5



- GENERAL DEVELOPMENT NOTES:**
1. Total Acres: 264.44
 2. Site is presently zoned PDMU/PCV
 3. Potable Water system previously constructed; owned and maintained by Manatee County.
 4. Sanitary Sewer collection system will be privately constructed; owned and maintained by Manatee County.
 5. Current Future Land Use: RES-8 & UF-3.
 6. Contours are based on field topography by Heidt & Associates, Inc.
 7. All construction shall be completed in accordance with Manatee County Development Standards. Construction plans to be submitted to and approved by Manatee County.
 8. Drainage easement for culverts and pipelines, excluding yard drain systems, shall be at minimum 20 feet wide.
 9. Roadways to be public.
 10. Maintenance of common areas shall be the responsibility of a Homeowners Association.
 11. Drainage plans and calculations to comply with requirements as referenced in Subdivision Regulations of the Land Development Code of Manatee County, Florida.
 12. Fire flow will be provided as required by Manatee County Fire Department and water authority having jurisdiction.
 13. Minimum Lot Size: See Detail this sheet.
 14. Minimum Setbacks: See Detail this sheet.
 15. Outdoor lighting, if proposed, will comply with LDC Section 7006. A lighting plan will be required with the PSP if lighting is proposed.
 16. Detention pond parcels and drainage easements to be owned and maintained by a Homeowner's Association.
 17. Driveway (roadway) road at all project access points to be a minimum of 10'.
 18. Electrical power distribution and telephone service lines shall be underground wherever possible.
 19. Project: See within Flood Zone 2 per F.E.M.A. - F.I.R.M. Community Panel 120153 0210 C dated July 16, 1992.
 20. Conservation areas to be owned by a Homeowner's Association.
 21. The boundaries of the wetland buffers shall be marked with signs (up to 2 per lot) indicating that this is a wetland protection area. Such signs shall be approved by the Environmental Planning Division with final sign plan approval. There shall also be a Notice to Buyers indicating that these lots have a wetland buffer adjacent to them, with reference to the recorded conservation easement.
 22. Prior to start of vertical building construction, the location, inspection and testing of any and all fire hydrants as required must be performed and approved by the Manatee Fire & Rescue District.
 23. The property is currently active agriculture with no existing residences.
 24. There are no known foundation areas of historic origin, existing easements, planned streets located on this site. There are wetlands under the jurisdiction of SWFWMD and FDEP within the boundaries of this site. Wetland limits have not been Agency verified with this submission.
 25. Existing well to be located on Southwest corner of property.
 26. Common open space shall be owned and maintained by a Homeowner's Association.
 27. The residences will be single family detached and single family attached with a maximum height of 35' for internal lots.
 28. Signs for subdivision identification will be permitted separately.
 29. Infrastructure construction will commence following approval of the Final Site plan and will be completed within the approved Certificate of Land of Service (CLOS).
 30. Streets will be constructed to Manatee County standards and maintained by Manatee County.
 31. Solid waste disposal will be provided by Manatee County by individual curbside pick-up.
 32. All proposed building finished floor elevations are to be a minimum of 2' above the crown of the adjacent roadway.
 33. Existing agricultural uses may continue until site development occurs.
 34. The Development will be in multiple phases.
 35. Irrigation will be by the lowest quality of water available.
 36. Emergency access to Spencer Purdin Road will be gained.
 37. Wetlands, buffers, and upland preservation areas will be dedicated as conservation easements in favor of Manatee County.
 38. Easements not located within Public Right-of-Way shall have a 25' Protection Easement dedicated to the public.
 39. The Drainage Model and Construction Plan shall demonstrate that no adverse impacts will be created to neighboring residents surrounding the site in respect to drainage routing, grading, and runoff.
 40. 20' Drainage-Maintenance Access Easements shall be provided along all drainage conveyance ditches.
 41. Landscape buffer areas shall have 100% coverage by automatic irrigation.
 42. Sedimentation and erosion control measures shall comply with the LDC Section 717 of Manatee County. Sedimentation and erosion control measures and tree protection shall be installed and inspected by the MWD prior to construction.
 43. All recreational equipment shall comply with FEMA, ASTM and ADA requirements.
 44. 10 foot separation between accessory structures for lots with side yard less than 7.5 feet.
 45. Per Section 702.6.10 of the LDC, structures shall be setback a minimum of 15 ft. from the upland edge of the wetland buffer.
 46. Conversion from NAVD 88 to NAVD 83 = -0.85
 47. All traffic control signage and pavement markings shall be provided in accordance with the latest editions of the Manual on Uniform Traffic Control Devices (MUTCD) and Florida Department of Transportation (FDOT) Design Standards.

ZONING: VIL (VILLAGE)
FUTURE LAND USE: RES-8
16.00 Ac.

ZONING: PO-C (PLANNED DEVELOPMENT - COMMERCIAL)

ZONING: A1 (SUBURBAN AGRICULTURE)
LAND USE: UF-3
246.00 Ac.

ZONING: A (GENERAL AGRICULTURE)
FUTURE LAND USE: UF-3

ZONING: A-1 (SUBURBAN AGRICULTURE)

ZONING: A (GENERAL AGRICULTURE)
FUTURE LAND USE: UF-3

PROJECT SITE DATA - OVERALL

Total Acres	+/- 264.44 ac.
Residential Use	+/- 233.37 ac.
Commercial Use	+/- 31.07 ac.

Residential

LOT SUMMARY TABLE

Lot Size	Number of Lots
45' x 110'	50
55' x 110'	130
65' x 110'	170
TOTAL	250

* Total number of lots may exceed 250 but in no circumstance exceed 488.

Residential - Open Space Summary Table

	Acres
Total Residential	233.37 Ac.
LDC Required Open Space	28.32 Ac. (12%)
Open Space Provided *	146.99 Ac. (63%)

* In order to comply with 603.7.4.2, no more than 41 Ac. will consist of Stormwater Ponds.

Gross Residential Acreage and Density

UP-3 Future Land Use	Acres
Total Acreage	233.37 Ac.
Wetland Acreage	178.51 Ac.
Wetland Buffer Acreage	87.76 Ac.
25% of Total Acreage	58.34 Ac.
Total Gross Residential Acreage (Wetland Acreage + 25%)	222.16 Ac.
Total Proposed Gross Density	1.80 Units/Ac.

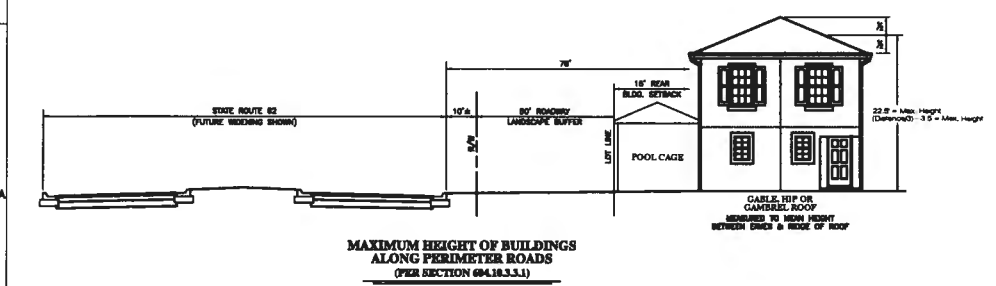
Net Residential Acreage and Density

UP-3 Future Land Use	Acres
Total Acreage	233.37 Ac.
Wetland Acreage	57.76 Ac.
Wetland Buffer Acreage	11.75 Ac.
Park Acreage	6.84 Ac.
Net Residential Acreage	157.00 Ac.
Total Proposed Net Density	2.37 Units/Ac.

Commercial

SITE DATA - COMMERCIAL

Area (Ac.)	USE (Ac.)	Use	Area (QTY)	P.L.S.	Setback (Feet)	Parking Spaces	SP (QTY)	Parking Required
31.17	17.48	13.69	199,188 SF	6.11	3.85	1/238		708



HEIDT DESIGN
Civil Engineering • Planning & GIS
Transportation Engineering
Landscape Architecture • Landmarks Architecture
Engineering Business Certificate of Accreditation No. 29712
Landscape Architecture Certificate of Accreditation No. LC2900405

1506-B Brookridge Pkwy
Tampa, Florida 33610
Office: 813-251-5311
Fax: 813-464-1629

www.HeidtDesign.com

PARISH PLANTATION

GENERAL NOTES B

PARISH PLANTATION, LLC

PREPARED FOR:

DATE: 08/14/2012

REVIEW SUBMITTAL:

DATE: 08/14/2012

PROJECT NO: PSP-GN-PLAN B

FILE: STOLLINGS

DESIGN BY: STOLLINGS

DRAWN BY: STOLLINGS

FLORIDA PROFESSIONAL ENGINEER

STRICKLAND T. SMITH

DATE: 08/14/2012

REGISTRATION NO. 50652

5 OF 5

BRADENTON HERALD

WWW.BRADENTON.COM
P.O. Box 921
Bradenton, FL 34206-0921
102 Manatee Avenue West
Bradenton, FL 34205-8894
941-745-7077

Bradenton Herald
Published Daily
Bradenton, Manatee County, Florida

STATE OF FLORIDA COUNTY OF MANATEE

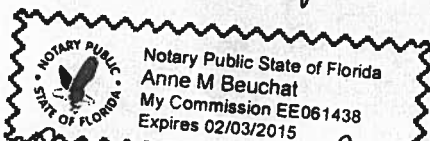
Before the undersigned authority personally appeared Flo Konesko, who, on oath, says that she is a Legal Advertising Representative of The Bradenton Herald a daily newspaper published at Bradenton in Manatee County, Florida; that the attached copies of the advertisement, being a Legal Advertisement in the matter of **NOTICE OF ZONING** in said newspaper in the issues of **5/29/2013**.

Affidavit further says that the said publication is a newspaper published at Bradenton, in said Manatee County, Florida, and that the said newspaper has heretofore been continuously published in said Manatee County, Florida, each day and has been entered as second-class mail matter at the post office in Bradenton, in said Manatee County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.


(Signature of Affiant)

Sworn to and subscribed before me this

24 Day of May, 2013




SEAL & Notary Public

Personally Known _____ OR Produced Identification _____
Type of Identification Produced _____

**NOTICE OF ZONING
CHANGES IN UNINCORPORATED
MANATEE COUNTY**

NOTICE IS HEREBY GIVEN, that the Planning Commission of Manatee County will conduct a Public Hearing on **Thursday, June 13, 2013 at 9:00 a.m. at the Manatee County Government Administrative Center, 1st Floor Chambers, 1112 Manatee Avenue West, Bradenton, Florida** to consider, act upon, and forward a recommendation to the Board of County Commissioners on the following matters:

PDP1-03-21(G)(R2) - LENA ROAD LANDFILL/SE WASTE-WATER TREATMENT PLANT
(DTS #20130123)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending and restating the approved General Development Plan [Ordinance PDP1-03-21(G)(R)] to allow additional improvements to the Southeast Water Reclamation Facility and Lena Road Landfill on approximately 1,169.20 acres at 3333 Lena Road, located south of SR 64, east of Lena Road, and west of Lakewood Ranch Boulevard, Bradenton; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

LDA-08-05(R) - AMENDMENT TO LOCAL DEVELOPMENT AGREEMENT FOR PARRISH PLANTATION DEVELOPMENT
(DTS#20130150)

Request: Approval of an Amendment to a Local Development Agreement providing for a change in the type of land use identified in the Local Development Agreement by deleting the requirement for dedication of a Public Community Use; providing for severability, and providing for an effective date. The Amended Local Development Agreement applies to Parrish Plantation for which an amended approval is sought pursuant to pending application known as PDMU-07-07(P)(R) (264.4 ± acres). The proposed use of the properties is residential development, including single family detached residential units and single family attached residential units, commercial and office development.

Pursuant to the pending zoning request, Parrish Plantation is seeking approval for a maximum of 488 residential units with a maximum height of 35 feet and 116,100 square feet of commercial and 83,000 square feet of office.

PDMU-13-03(P) - DUKE INVESTMENTS, LLC/UNIVERSITY GROVES WEST
(DTS#20120488)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site

Plan for 133 lots for single-family detached residences on approximately 48.76 acres located north of University Parkway, east of U.S. 301, south of Circus Road, and west of University Groves Development, Bradenton. The site is zoned PDMU (Planned Development Mixed Use); subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

PDMU-06-86(P)(R2) - SMT AUTO, LLC/FIRST AUTO SALES (RELATED TO ALCO PROPERTIES OF MANATEE COUNTY, INC./COPEMAN DEVELOPMENT)
(DTS#20120402)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Revised Preliminary Site Plan to:

- Eliminate mini-warehouse facility, office use and 8-lots for single-family detached residences;
- Add a 2,460 square foot building for use of a motor vehicle sales, rental, leasing, and motor vehicle repair establishments; and
- Modify existing stormwater basin

The 7.23± acre site is in the PDMU (Planned Development Mixed Use) zoning district located on the west side of U.S. 41, approximately 550 feet south of 53rd Avenue West and extending west to 16th Street West at 5410 14th Street West, Bradenton; subject to stipulations as conditions of approval; setting forth findings; providing for severability; providing a legal description, and providing an effective date.

PDMU-12-18(Z)(P) - WILDCAT PARRISH, LLC/ WILDCAT PRE-SERVE
(DTS#20120464)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 89.72 acres located on the northeast corner of Ft. Hamer Road and Golf Course Road at 12180 Golf Course Road, Parrish, from PDR/NCO (Planned Development Residential/North Central Overlay) to the PDMU/NCO (Planned Development Mixed Use) retaining the North Central Overlay zoning district; approve a Preliminary Site Plan for 242 residential lots for single-family detached residences and a commercial outparcel for 51,346 square feet of retail and office uses; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

PDR-13-02(P) - UNIVERSITY VILLAGE, LLC - UNIVERSITY VILLAGE
(DTS #20130033)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 51.50 acres at on the north side of Tallevast Road, approximately 1,500 feet east of US 301 at 3005 and 3211 Tallevast Road, Bradenton from A-1 (Suburban Agriculture) to the PDR (Planned Development Residential) zoning district; approve a Preliminary Site Plan for 208 single-family semi-detached residences; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

It is important that all parties present their concerns to the Planning Commission in as much detail as possible. The issues identified at the Planning Commission hearing will be the primary basis for the final decision by the Board of County Commissioners. Interested parties may examine the Official Zoning Atlas, the applications, related documents, and may obtain assistance regarding these matters from the Manatee County Building and Development Services Department, 1112 Manatee Avenue West, 2nd Floor, Bradenton, Florida, telephone number (941) 748-4501x6878; e-mail to: planning.agenda@mymanatee.org

According to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made with respect to any matters considered at such meetings or hearings, he or she will need a record of the proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record would include any testimony or evidence upon which the appeal is to be based.

Americans With Disabilities:
The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation

for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED FROM TIME TO TIME. PENDING ADJOURNMENTS. MANATEE COUNTY PLANNING COMMISSION
Manatee County Building and Development Services Department
Manatee County, Florida
5/29/2013

AFFIDAVIT OF PUBLICATION

SARASOTA HERALD-TRIBUNE
PUBLISHED DAILY
SARASOTA, SARASOTA COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF MANATEE

BEFORE THE UNDERSIGNED AUTHORITY PERSONALLY APPEARED SHARI BRICKLEY, WHO ON OATH SAID SHE IS DIRECTOR OF ADVERTISING FOR THE SARASOTA HERALD-TRIBUNE, A DAILY NEWSPAPER PUBLISHED AT SARASOTA, IN SARASOTA COUNTY FLORIDA; AND CIRCULATED IN MANATEE COUNTEE DAILY; THAT THE ATTACHED COPY OF ADVERTISEMENT BEING A NOTICE IN THE MATTER OF:

Legal description documented below:

IN THE COURT WAS PUBLISHED IN THE MANATEE EDITION OF SAID NEWSPAPER IN THE ISSUES OF:

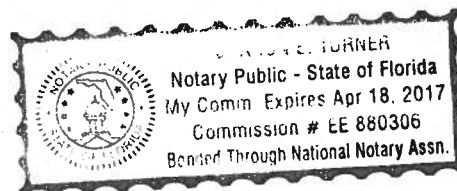
5/30 1x

AFFIANT FURTHER SAYS THAT THE SAID SARASOTA HERALD-TRIBUNE IS A NEWSPAPER PUBLISHED AT SARASOTA, IN SAID SARASOTA COUNTY, FLORIDA, AND THAT THE SAID NEWSPAPER HAS THERETOFORE BEEN CONTINUOUSLY PUBLISHED IN SAID SARASOTA COUNTY, FLORIDA, EACH DAY, AND HAS BEEN ENTERED AS SECOND CLASS MAIL MATTER AT THE POST OFFICE IN BRADENTON, IN SAID MANATEE COUNTY, FLORIDA, FOR A PERIOD OF ONE YEAR NEXT PRECEDING THE FIRST PUBLICATION OF THE ATTACHED COPY OF ADVERTISEMENT; AND AFFIANT FURTHER SAYS THAT SHE HAS NEITHER PAID NOR PROMISED ANY PERSON, FIRM OR CORPORATION ANY DISCOUNT, REBATE, COMMISSION OR REFUND FOR THE PURPOSE OF SECURING THIS ADVERTISEMENT FOR PUBLICATION IN THE SAID NEWSPAPER.

SIGNED

SWORN OR AFFIRMED TO, AND SUBSCRIBED BEFORE ME THIS 31 DAY OF May, A.D., 2013
BY SHARI BRICKLEY WHO IS PERSONALLY KNOWN TO ME.

Notary Public



**NOTICE OF ZONING CHANGES IN
UNINCORPORATED MANATEE COUNTY**

NOTICE IS HEREBY GIVEN, that the Planning Commission of Manatee County will conduct a Public Hearing on Thursday, June 13, 2013 at 9:00 a.m. at the Manatee County Government Administrative Center, 1st Floor Chambers, 1112 Manatee Avenue West, Bradenton, Florida to consider, act upon, and forward a recommendation to the Board of County Commissioners on the following matters:

PDP1-03-21(G)(R2) - LENA ROAD
LANDFILL/SE WASTEWATER
TREATMENT PLANT
(DTS #20130123)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending and restating the approved General Development Plan [Ordinance PDP1-03-21(G)(R)] to allow additional improvements to the Southeast Water Reclamation Facility and Lena Road Landfill on approximately 1,169.20 acres at 3333 Lena Road, located south of SR 64, east of Lena Road, and west of Lakewood Ranch Boulevard, Bradenton; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

LDA-08-05(R) - AMENDMENT TO LOCAL
DEVELOPMENT AGREEMENT FOR
PARRISH PLANTATION DEVELOPMENT
(DTS #20130150)

Request: Approval of an Amendment to a Local Development Agreement providing for a change in the type of land use identified in the Local Development Agreement by deleting the requirement for dedication of a Public Community Use; providing for severability, and providing for an effective date. The Amended Local Development Agreement applies to Parrish Plantation for which an amended approval is sought pursuant to pending application known as PDMU-07-07(P)(R) (264.4 ± acres). The proposed use of the properties is residential development, including single family detached residential units and single family attached residential units, commercial and office development. Pursuant to the pending zoning request, Parrish Plantation is seeking approval for a maximum of 488 residential units with a maximum height of 35 feet and 118,100 square feet of commercial and 83,000 square feet of office.

PDMU-13-03(P) - DUKE INVESTMENTS,
LLC/UNIVERSITY GROVES WEST
(DTS #20120488)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site Plan for 133 lots for single-family detached residences on approximately 48.76 acres located north of University Parkway, east of U.S. 301, south of Circus Road, and west of University Groves Development, Bradenton. The site is zoned PDMU (Planned Development Mixed Use); subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

PDMU-06-86(P)(R2) -SMT AUTO,
LLC/FIRST AUTO SALES (RELATED TO
ALCO PROPERTIES OF MANATEE
COUNTY, INC./COPEMAN
DEVELOPMENT)
(DTS #20120402)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Revised Preliminary Site Plan to:

- Eliminate mini-warehouse facility, office use and 8-lots for single-family detached residences;
- Add a 2,460 square foot building for use of a motor vehicle sales, rental, leasing, and motor vehicle repair establishments; and
- Modify existing stormwater basin

The 7.23± acre site is in the PDMU (Planned Development Mixed Use)

zoning district located on the west side of U.S. 41, approximately 550 feet south of 53rd Avenue West and extending west to 16th Street West at 5410 14th Street West, Bradenton; subject to stipulations as conditions of approval; setting forth findings; providing for severability; providing a legal description, and providing an effective date.

PDMU-12-19(Z)(P) - WILDCAT PARRISH,
LLC/WILDCAT PRESERVE
(DTS #20120464)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 89.72 acres located on the northeast corner of Ft. Hamer Road and Golf Course Road at 12180 Golf Course Road, Parrish, from PDR/NCO (Planned Development Residential/North Central Overlay) to the PDMU/NCO (Planned Development Mixed Use) retaining the North Central Overlay zoning district; approve a Preliminary Site Plan for 242 residential lots for single-family detached residences and a commercial outparcel for 51,346 square feet of retail and office uses; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

PDR-13-02(Z)(P) - UNIVERSITY VILLAGE,
LLC - UNIVERSITY VILLAGE
(DTS #20130033)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezone of approximately 51.50 acres at on the north side of Tallevast Road, approximately 1,500 feet east of US 301 at 3005 and 3211 Tallevast Road, Bradenton from A-1 (Suburban Agriculture) to the PDR (Planned Development Residential) zoning district; approve a Preliminary Site Plan for 208 single-family semi-detached residences; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

It is important that all parties present their concerns to the Planning Commission in as much detail as possible. The issues identified at the Planning Commission hearing will be the primary basis for the final decision by the Board of County Commissioners. Interested parties may examine the Official Zoning Atlas, the applications, related documents, and may obtain assistance regarding these matters from the Manatee County Building and Development Services Department, 1112 Manatee Avenue West, 2nd Floor, Bradenton, Florida, telephone number (941) 748-4501x6878; e-mail to: planning.agenda@mymanatee.org

According to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made with respect to any matters considered at such meetings or hearings, he or she will need a record of the proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record would include any testimony or evidence upon which the appeal is to be based.

Americans With Disabilities: The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED
FROM TIME TO TIME PENDING
ADJOURNMENTS.
MANATEE COUNTY PLANNING
COMMISSION
Manatee County Building and
Development Services Department
Manatee County, Florida

Date of pub: May 30, 2013

Copy of Newspaper Advertising

Bradenton Herald

NOTICE OF ZONING CHANGES IN UNINCORPORATED MANATEE COUNTY

NOTICE IS HEREBY GIVEN, that the Planning Commission of Manatee County will conduct a Public Hearing on Thursday, June 13, 2013 at 9:00 a.m. at the Manatee County Government Administrative Center, 1st Floor Chambers, 1112 Manatee Avenue West, Bradenton, Florida to consider, act upon, and forward a recommendation to the Board of County Commissioners on the following matters:

PDPI-03-21(G)(R2) - LENA ROAD LANDFILL/SE WASTE-WATER TREATMENT PLANT (DTS #20130123)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending and restating the approved General Development Plan [Ordinance PDPI-03-21(G)(R)] to allow additional improvements to the Southeast Water Reclamation Facility and Lena Road Landfill on approximately 1,169.20 acres at 3333 Lena Road; located south of SR 64, east of Lena Road, and west of Lakewood Ranch Boulevard, Bradenton; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

LDA-08-05(R) - AMENDMENT TO LOCAL DEVELOPMENT AGREEMENT FOR PARRISH PLANTATION DEVELOPMENT (DTS#20130150)

Request: Approval of an Amendment to a Local Development Agreement providing for a change in the type of land use identified in the Local Development Agreement by deleting the requirement for dedication of a Public Community Use; providing for severability, and providing for an effective date. The Amended Local Development Agreement applies to Parrish Plantation for which an amended approval is sought pursuant to pending application known as PDMU-07-07(P)(R) (264.4 ± acres). The proposed use of the properties is residential development, including single family detached residential units and single family attached residential units, commercial and office development.

Pursuant to the pending zoning request, Parrish Plantation is seeking approval for a maximum of 488 residential units with a maximum height of 35 feet and 116,100 square feet of commercial and 83,000 square feet of office.

PDMU-13-03(P) - DUKE INVESTMENTS, LLC/UNIVERSITY GROVES WEST (DTS#20120488)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Preliminary Site Plan for 133 lots for single-family detached residences on approximately 48.76 acres located north of University Parkway, east of U.S. 301, south of Circus Road, and west of University Groves Development, Bradenton. The site is zoned PDMU (Planned Development Mixed Use); subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

PDMU-08-88(P)(R2) - SMT AUTO, LLC/FIRST AUTO SALES (RELATED TO ALSO PROPERTIES OF MANATEE COUNTY, INC./COPEMAN DEVELOPMENT/) (DTS#20120402)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, approving a Revised Preliminary Site Plan to:

- Eliminate mini-warehouse facility, office use and 8-lots for single-family detached residences;
- Add a 2,460 square foot building for use of a motor vehicle sales, rental, leasing, and motor vehicle repair establishments; and
- Modify existing stormwater basin

The 7.23± acre site is in the PDMU (Planned Development Mixed Use) zoning district located on the west side of U.S. 41, approximately 550 feet south of 53rd Avenue West and extending west to 16th Street West at 5410 14th Street West, Bradenton; subject to stipulations as conditions of approval; setting forth findings; providing for severability; providing a legal description, and providing an effective date.

PDMU-12-18(Z)(P) - WILDCAT PARRISH, LLC/ WILDCAT PRE-SERVE (DTS#20120464)

An Ordinance of the Board of County Commissioners of

Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezoning of approximately 89.72 acres located on the northeast corner of Ft. Hamer Road and Golf Course Road at 12180 Golf Course Road, Parrish, from PDR/NCO (Planned Development Residential/North Central Overlay) to the PDMU/NCO (Planned Development Mixed Use) retaining the North Central Overlay zoning district; approve a Preliminary Site Plan for 242 residential lots for single-family detached residences and a commercial outparcel for 51,348 square feet of retail and office uses; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

PDR-13-02(Z)(P) - UNIVERSITY VILLAGE, LLC - UNIVERSITY VILLAGE (DTS #20130033)

An Ordinance of the Board of County Commissioners of Manatee County, Florida, regarding land development, amending the official zoning atlas (Ordinance 90-01, the Manatee County Land Development Code), relating to zoning within the unincorporated area; providing for a rezoning of approximately 51.50 acres at on the north side of Tallevast Road, approximately 1,500 feet east of US 301 at 3005 and 3211 Tallevast Road, Bradenton from A-1 (Suburban Agriculture) to the PDR (Planned Development Residential) zoning district; approve a Preliminary Site Plan for 208 single-family semi-detached residences; subject to stipulations as conditions of approval; setting forth findings; providing a legal description; providing for severability, and providing an effective date.

It is important that all parties present their concerns to the Planning Commission in as much detail as possible. The issues identified at the Planning Commission hearing will be the primary basis for the final decision by the Board of County Commissioners. Interested parties may examine the Official Zoning Atlas, the applications, related documents, and may obtain assistance regarding these matters from the Manatee County Building and Development Services Department, 1112 Manatee Avenue West, 2nd Floor, Bradenton, Florida, telephone number (941) 748-4501x6878; e-mail to: planning.agenda@mymanatee.org

According to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made with respect to any matters considered at such meetings or hearings, he or she will need a record of the proceedings is made, which record would include any testimony or evidence upon which the appeal is to be based.

Americans With Disabilities:
The Board of County Commissioners of Manatee County does not discriminate upon the basis of any individual's disability status. This non-discrimination policy involves every aspect of the Board's functions including one's access to and participation in public hearings. Anyone requiring reasonable accommodation

for this meeting as provided for in the ADA, should contact Kaycee Ellis at 742-5800; TDD ONLY 742-5802 and wait 60 seconds, or FAX 745-3790.

THIS HEARING MAY BE CONTINUED FROM TIME TO TIME PENDING ADJOURNMENTS. MANATEE COUNTY PLANNING COMMISSION
Manatee County Building and Development Services Department
Manatee County, Florida
5/29/2013

**AFFIDAVIT OF POSTING OF PUBLIC NOTICE SIGN, AND
NOTIFICATION BY U.S. MAIL TO CONTIGUOUS PROPERTY OWNERS**

STATE OF

COUNTY OF

BEFORE ME, the undersigned authority, personally appeared Nicole M. Fortson, who, after having first been duly sworn and put upon oath, says as follows:

1. That he/she is the _____ (owner, agent for owner, attorney in fact for owner, etc.) of the property identified in the application for LDA-08-05(R) - DTS#20130150 - Amendment to Local Development Agreement for Parrish Plantation Development to be heard before the Manatee County Planning Commission at a public hearing to be held on June 13, 2013 and to be heard before the Manatee County Board of County Commissioners at a public hearing to be held on August 8, 2013 and as such, is authorized to execute and make this Affidavit and is familiar with the matters set forth herein, and they are true to the best of his/her knowledge, information, and belief.

2. That the Affiant has caused the required public notice sign to be posted pursuant to Manatee County Ordinance No. 90-01, on the property identified in the application, and the sign(s) was conspicuously posted 3 feet from the front property line on the 24th day of May, 2013.

3. That the Affiant has caused the mailing of the required letter of notification to property owners within 500 feet of the project boundary pursuant to Manatee County Ordinance No. 90-01, as amended, by U.S. Mail, on the 24th day of May, 2013, and attaches hereto, as a part of and incorporated herein, a complete list of the names and addresses of the persons entitled to notice.

4. That Affiant is aware of and understands that failure to adhere to the provisions of Manatee County Ordinance No. 90-01, as it relates to the required public notice, may cause the above identified hearing to be postponed and rescheduled only upon compliance with the public notice requirements.

FURTHER YOUR AFFIANT SAITH NOT.

Nicole M. Fortson
Property Owner/Agent Signature

SIGNED AND SWORN TO before me on MAY 28, 2013 (date) by Nicole Fortson (name of affiant). He/she is personally known to me or has produced _____ (type of identification) as identification and who did take an oath.

Caleb J. Grimes
Signature of Person Taking Acknowledgment

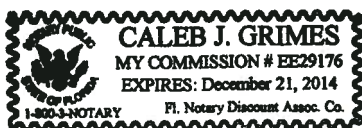
CALEB J. GRIMES
Type Name

Title or Rank

My Commission Expires:

Serial Number, if any

Commission No.:



Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	SECONDARY_OWNER	OWN_ADDR	OWN_ADDR2	CITY	ST	ZIP	CNTRY	CNT_ZIP	PARCEL_ID	LOCATION_ADD
ANGEL,CARY D	ANGEL,KAREN M	12374 PARRISH CEMETERY RD		PARRISH	FL	34219			427616008	12374 PARRISH CEMETERY RD NCT
BATES,JAMES DAVE	BATES,MARY FRANCES	7809 55TH ST E		PALMETTO	FL	34221			431300003	12302 US 301 N NCT
BELL,HARRY	BELL,MARY JANE	1907 49TH ST W		BRADENTON	FL	34209			414400051	12930 SR 62 NCT
BIASINI,MATTHEW	BIASINI,KATHLEEN	13150 SR 62		PARRISH	FL	34219			414301002	13150 SR 62 NCT
BILBREY,JEANNE S		PO BOX 2093		CLARKESVILLE	GA	30523			431600006	12280 US 301 N NCT
CANNON,THEOLLA B	CANNON,JAMES	15450 GOLF COURSE RD		PARRISH	FL	34219			432600059	7731 122ND AVE E NCT
CARLTON,JEFFREY I	CARLTON,KRISTEN L	7136 SPENCER PARRISH RD		PARRISH	FL	34219			422310059	7136 SPENCER PARRISH RD NCT
CASTRO,LUIS A	CASTRO,MARIA E	12210 SR 62		PARRISH	FL	34219			413110109	12210 SR 62 NCT
CEMETERY		P O BOX 1000		BRADENTON	FL	34206			428000004	12305 PARRISH CEMETERY RD NCT
CHAMBERS,CONNOR J		PO BOX 859		PARRISH	FL	34219			422400002	7530 SPENCER PARRISH RD NCT
CHAVEZ,GABRIEL	CHAVEZ,EUSTOLIA M	7904 122ND AVE E		PARRISH	FL	34219			432000008	7904 122ND AVE E NCT
CHEAVES MASONRY & CONSTRUCTION INC		1450 29TH ST E		PALMETTO	FL	34221			413100159	12224 SR 62 NCT
CHIRDO ROSS INVESTMENTS LLC		22520 ANMARIE CT		TRENTON	MI	48183			464500169	12450 CR 675 NCT
CHITTY,EDWARD G		12248 SR 62		PARRISH	FL	34219			413610155	12248 SR 62 NCT

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	SECONDARY_OWNER	OWN_ADDR	OWN_ADDR2	CITY	ST	ZIP	CNTRY	CNT_ZIP	PARCEL_ID	LOCATION_ADD
CONE,WILLIAM L JR	DESEAR,IDA RUTH CONE	3002 RIVERVIEW BLVD W		BRADENTON	FL	34205			426600003	12285 US 301 N NCT
CSPR LTD		11624 OLD TAMPA RD		PARRISH	FL	34219			413300005	12210 83RD ST E NCT
CSPR LTD		11624 OLD TAMPA RD		PARRISH	FL	34219			413200007	12230 SR 62 NCT
DODSON,JAMES C		6241 136TH TERR E		PARRISH	FL	34219			429900004	8001 122ND AVE E NCT
EGYED,JOSEPH	EGYED,KATHARINA	PO BOX 56		PARRISH	FL	34219			413600008	12320 SR 62 NCT
ELLIOTT,G GREGORY	LAMB-ELLIOTT,DIANNE L	12300 PARRISH CEMETERY RD		PARRISH	FL	34219			427615000	12300 PARRISH CEMETERY RD NCT
ERVIN,DENNIS		8015 122ND AVE E		PARRISH	FL	34219			428400409	8015 122ND AVE E NCT
FRENCH,CHARLES E	HOPE ENTERPRISES DECLARATION OF TRUST,FRENCH,DONNA J	7253 SPENCER PARRISH RD		PARRISH	FL	34219			422700359	7129 SPENCER PARRISH RD NCT
FRENCH,CHARLES E	FRENCH,DONNA J	7253 SPENCER PARRISH RD		PARRISH	FL	34219			422700079	7263 SPENCER PARRISH RD NCT
FRENCH,CHARLES E	HOPE ENTERPRISES DECLARATION OF TRUST,FRENCH,DONNA J	7253 SPENCER PARRISH RD		PARRISH	FL	34219			422700209	7253 SPENCER PARRISH RD NCT
GARCIA,BENITO	GARCIA,TOMAS	12306 SR 62		PARRISH	FL	34219			413610502	12306 SR 62 NCT
GLUECK,GUSTAV	GLUECK,GUSTAV REV LIV TRUST	12220 SR 62		PARRISH	FL	34219			413000059	12347 US 301 N NCT
GLUECK,GUSTAV	GLUECK,GUSTAV REV LIV TRUST	12220 SR 62		PARRISH	FL	34219			413100209	12220 SR 62 NCT
GODFREY,JOHN	GODFREY,KRISTIN	7711 122ND AVE E		PARRISH	FL	34219			432800129	7711 122ND AVE E NCT

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	SECONDARY_OWNER	OWN_ADDR	OWN_ADDR2	CITY	ST	ZIP	CNTRY	CNT_ZIP	PARCEL_ID	LOCATION_ADD
HAMLIN,ROBIN R	HAMLIN,BILLIE C	12345 PARRISH CEMETERY RD		PARRISH	FL	34219			464500259	12345 PARRISH CEMETERY RD NCT
HARRISON,DAVID J	HARRISON,JOHN S	8007 122ND AVE E		PARRISH	FL	34219			428400159	8007 122ND AVE E NCT
HARRISON,DONALD E		12224 SR 62		PARRISH	FL	34219			413100109	12224 SR 62 NCT
HINSON,LISA C		PO BOX 438		PARRISH	FL	34219			414200059	12830 SR 62 NCT
HLS INVESTMENTS INC		PO BOX 769		PARRISH	FL	34219			420700109	SPENCER PARRISH RD NCT
HOLBROOK,CAROLIE F		7805 122ND AVE E		PARRISH	FL	34219			432500007	7805 122ND AVE E NCT
HOLDREN,MARK	TRIPLETT,ROGER E	PO BOX 539		PARRISH	FL	34219			413610700	12340 SR 62 NCT
HUSEBY,MICHELE	HUSEBY,MICHELE REVOCABLE TRUST	4915 ARLINGTON RD		PALMETTO	FL	34221			431200005	12308 US 301 N NCT
HYSMITH,JAMES E	HYSMITH,KATHY A	PO BOX 347		PARRISH	FL	34219			421220159	12530 CR 675 NCT
HYSMITH,JAMES E	HYSMITH,KATHY A	P O BOX 347		PARRISH	FL	34219			464500309	PARRISH CEMETERY RD NCT
KAWAGRA PARRISH LLC		2604 BAY DR		BRADENTON	FL	34207			427500053	12275 US 301 N NCT
KERR,DIANE		16605 CR 675		PARRISH	FL	34219			425800059	7234 SPENCER PARRISH RD NCT
LAKSHMI ENTERPRISES LLC		2901 US HWY 301 N		ELLENTON	FL	34222			433400009	12270 US 301 N NCT
LAPLACITA MEXICANA INC		12341 US HWY 301 N		PARRISH	FL	34219			427200001	12341 US 301 N NCT

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	SECONDARY_OWNER	OWN_ADDR	OWN_ADDR2	CITY	ST	ZIP	CNTRY	CNT_ZIP	PARCEL_ID	LOCATION_ADD
LEIB,JOHN A	LEIB,C JANE	7703 122ND AVE E		PARRISH	FL	34219			432800159	7703 122ND AVE E NCT
LOOSE,DANNY C		7903 122ND AVE E		PARRISH	FL	34219			432200004	7903 122ND AVE E NCT
MACLAREN,HELEN O	MACLAREN,HELEN O TRUST DTD	145 BEGONIA TER		PARRISH	FL	34219			411400005	12348 US 301 N NCT
MANATEE COUNTY MANATEE COUNTY RURAL HEALTH SERVICES INC		PO BOX 1000		BRADENTON	FL	34206			421000019	7665 SPENCER PARRISH RD NCT
		PO BOX 499		PARRISH	FL	34219			427500103	12271 US 301 N NCT
MOSHER,JEANETTE H		7814 122ND AVE E		PARRISH	FL	34219			431900000	7814 122ND AVE E NCT
MUMFORD,WILLIAM W	MUMFORD,MELISSA A	P O BOX 408		PARRISH	FL	34219			414415059	13030 SR 62 NCT
MUNDY,DAVID P	MUNDY,MERRILY M	12840 SR 62		PARRISH	FL	34219			414200109	12840 SR 62 NCT
NORRIS,JEFF	NORRIS,CHRISTINE	7233 SPENCER PARRISH RD		PARRISH	FL	34219			422700259	7233 SPENCER PARRISH RD NCT
O'CONNOR,PATRICIA M		1315 8TH ST W		PALMETTO	FL	34221			428800059	12342 US 301 N NCT
O'DONNELL,COLLEN C		1008 MARLIN LAKES CIR APT 425		SARASOTA	FL	34232			413610452	12302 SR 62 NCT
PARKS,JAMES E		4908 51ST ST E		BRADENTON	FL	34203			430000000	12330 US 301 N NCT
PARKS,JAMES E		4908 51ST ST E		BRADENTON	FL	34203			430900059	12320 US 301 N NCT
PARKS,JAMES E		4908 51ST ST E		BRADENTON	FL	34203			428700109	12209 81ST ST E NCT

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	SECONDARY_OWNER	OWN_ADDR	OWN_ADDR2	CITY	ST	ZIP	CNTRY	CNT_ZIP	PARCEL_ID	LOCATION_ADD
PARKS,JAMES EDWARD		4908 51ST ST E		BRADENTON	FL	34203			428500003	12205 81ST ST E NCT
PARRISH CAPITOL LLC		PO BOX 587		PARRISH	FL	34219			429300007	12338 US 301 N NCT
PARRISH CAPITOL LLC		PO BOX 587		PARRISH	FL	34219			429500002	12334 US 301 N NCT
PARRISH PLANTATION LLC		4200 MARSH LANDING BLVD STE 100		JACKSONVILLE BEACH	FL	32250			420900003	7319 SPENCER PARRISH RD NCT
PARRISH PLANTATION LLC		4200 MARSH LANDING BLVD STE 100		JACKSONVILLE BEACH	FL	32250			421000059	NO ASSIGNED ADDRESS NCT
PARRISH PLANTATION LLC		4200 MARSH LANDING BLVD STE 100		JACKSONVILLE BEACH	FL	32250			421500000	7519 SPENCER PARRISH RD NCT
PARRISH PLANTATION LLC		4200 MARSH LANDING BLVD STE 100		JACKSONVILLE BEACH	FL	32250			421220109	CR 675 NCT
PARRISH PLANTATION LLC		4200 MARSH LANDING BLVD STE 100		JACKSONVILLE BEACH	FL	32250			427400007	12221 SR 62 NCT
PARRISH PLANTATION LLC		4200 MARSH LANDING BLVD STE 100		JACKSONVILLE BEACH	FL	32250			426100004	12303 US 301 N NCT
PETERSON,IRA	PETERSON,BONNIE	7326 SPENCER PARRISH RD		PARRISH	FL	34219			422301002	7326 SPENCER PARRISH RD NCT
POPE,STEPHEN A	POPE,NANCY L	P O BOX 23		PARRISH	FL	34219			423000309	12740 CR 675 NCT
POPE,STEPHEN A		P O BOX 23		PARRISH	FL	34219			411100050	12350 US 301 N NCT
ROBINSON,LEWIS KIRK	ROBINSON,TAMMY J	7808 122ND AVE E		PARRISH	FL	34219			431800002	7808 122ND AVE E NCT
SARVER,GREGORY D	SARVER,STACEY A	17611 WHITE TAIL CT		PARRISH	FL	34219			432300002	7811 122ND AVE E NCT

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	SECONDARY_OWNER	OWN_ADDR	OWN_ADDR2	CITY	ST	ZIP	CNTRY	CNT_ZIP	PARCEL_ID	LOCATION_ADD
SCHMITT,HUGH	SCHMITT,LOUISE A	12242 SR 62		PARRISH	FL	34219			413610353	12244 SR 62 NCT
SCHMITT,HUGH	SCHMITT,LOUISE A	12242 SR 62		PARRISH	FL	34219			413610304	12242 SR 62 NCT
SKYRANCH INC		43106 SR 64 E		MYAKKA CITY	FL	34251			426800009	12343 US 301 N NCT
SKYRANCH INC		43106 SR 64 E		MYAKKA CITY	FL	34251			427000005	12345 US 301 N NCT
SMITH,SONNY	SMITH,JOAN	6322 HWY 579		SEFFNER	FL	33584			411200009	12125 82ND ST E NCT
SMITH,SONNY	SMITH,JOAN	6322 HWY 579		SEFFNER	FL	33584			411710007	12115 82ND ST E NCT
SNEED,LINDA S	SNEED,HARVEY L	7770 SPENCER PARRISH RD		PARRISH	FL	34219			420700059	7770 SPENCER PARRISH RD NCT
SR 62 HOLDINGS LLC		40490 DESERT CREEK LN		RANCHO MIRAGE	CA	92270			414301507	13200 SR 62 NCT
SR 62 HOLDINGS LLC	GLANZ,REYNOLD L	40490 DESERT CREEK ROAD		RANCHO MIRAGE	CA	92270			414600007	13500 SR 62 NCT
STEVE PARISIAN CONSTRUCTION CO INC		509 9TH ST E		BRADENTON	FL	34208			432050003	7915 122ND AVE E NCT
STINTON,TIMOTHY L	STINTON,JANET A	7264 SPENCER PARRISH RD		PARRISH	FL	34219			425800159	7264 SPENCER PARRISH RD NCT
THOMPSON,STANLEY M		1827 9TH ST W		BRADENTON	FL	34205			411600109	12346 US 301 N NCT
TRIPLETT,ROGER E	DTD 6/10/2008,HOLDREN,RONALD MARK,TRIPLETT,VICKI	5403 RED ROOSTER RD		PARRISH	FL	34219			413610601	12310 SR 62 NCT
TRIPLETT,ROGER E	DTD 6/10/08,HOLDREN,RONALD MARK,TRIPLETT,VICKI H	PO BOX 539		PARRISH	FL	34219			413610007	12330 SR 62 NCT

Parcel Owners With In a 500 Foot Buffer Around a Parcel

OWNER	SECONDARY_OWNER	OWN_ADDR	OWN_ADDR2	CITY	ST	ZIP	CNTRY	CNT_ZIP	PARCEL_ID	LOCATION_ADD
VIHLEN,ERIC	VIHLEN,SALLY	504 LYONS BAY RD		NOKOMIS	FL	34275			428400559	12125 81ST ST E NCT
VILLEGAS,OSCAR		7909 122ND AVE E		PARRISH	FL	34219			432100006	7909 122ND AVE E NCT
WALDRON,LOUIS C	WALDRON,SUZETTE Y	13180 SR 62		PARRISH	FL	34219			414300103	13180 SR 62 NCT
WEBER,RICHARD G		738 10TH ST W		PALMETTO	FL	34221			432400000	7807 122ND AVE E NCT
WELLS,CHARLES B	WELLS,LESLIE B	PO BOX 223		PARRISH	FL	34219			431700004	7726 122ND AVE E NCT
WELLS,CHARLES B	WELLS,LESLIE B	PO BOX 133		PARRISH	FL	34219			431500008	12294 US 301 N NCT
WHIDDEN,LYLE G	WHIDDEN,KRISTEN A	7302 SPENCER PARRISH RD		PARRISH	FL	34219			422300053	7302 SPENCER PARRISH RD NCT
WILLIAMS,MAXENE B		512 47TH ST W		BRADENTON	FL	34209			431100007	12312 US 301 N NCT
WILLIAMS,MAXENE B		512 47TH ST W		BRADENTON	FL	34209			431400001	7712 122ND AVE E NCT
WILLIAMS,MAXENE B		512 47TH ST W		BRADENTON	FL	34209			431010057	12314 US 301 N NCT
WILLIAMS,MAXENE B		512 47TH ST W		BRADENTON	FL	34209			431000009	7912 122ND AVE E NCT